



City of Westminster

Committee Agenda

Title: **Planning Applications Committee (2)**

Meeting Date: **Tuesday 8th September, 2015**

Time: **6.30 pm**

Venue: **Rooms 5, 6 & 7 - 17th Floor, City Hall**

Members: **Councillors:**

Peter Freeman (Chairman)
Melvyn Caplan
Paul Church
Ruth Bush

Members of the public are welcome to attend the meeting and listen to the discussion Part 1 of the Agenda

Admission to the public gallery is by ticket, issued from the ground floor reception at City Hall from 6.00pm. If you have a disability and require any special assistance please contact the Committee Officer (details listed below) in advance of the meeting.



An Induction loop operates to enhance sound for anyone wearing a hearing aid or using a transmitter. If you require any further information, please contact the Committee Officer, Joe McBride, Committee and Governance Officer.

**Tel: 020 7641 2341; email: jmcbride@westminster.gov.uk
Corporate Website: www.westminster.gov.uk**

Note for Members: Members are reminded that Officer contacts are shown at the end of each report and Members are welcome to raise questions in advance of the meeting. With regard to item 2, guidance on declarations of interests is included in the Code of Governance; if Members and Officers have any particular questions they should contact the Head of Legal & Democratic Services in advance of the meeting please.

AGENDA

PART 1 (IN PUBLIC)

1. MEMBERSHIP

To note any changes to the membership.

2. DECLARATIONS OF INTEREST

To receive declarations by members and officers of the existence and nature of any personal or prejudicial interests in matters on this agenda.

3. MINUTES

To sign the minutes of the last meeting as a correct record of proceedings.

4. PLANNING APPLICATIONS

Applications for decision

Schedule of Applications

- | | |
|---------------------------------------------------------------------------------|--------------------------|
| 1. 14 GREAT PETER STREET, SW1 | (Pages 3 - 36) |
| 2. 1 PALACE COURT, W2 | (Pages 37 - 68) |
| 3. 4 MEARD STREET, W1 | (Pages 69 - 88) |
| 4. COUNCIL CLEANSING DEPOT, 50 PAGE STREET AND 11-15 REGENCY STREET, SW1 | (Pages 89 - 98) |
| 5. 42 CHEVAL PLACE, SW7 | (Pages 99 - 118) |
| 6. 1 - 2 ALBION STREET, W2 | (Pages 119 - 148) |
| 7. 31 CHIPPENHAM ROAD, W9 (ADDENDUM REPORT) | (Pages 149 - 164) |
| 8. 8 SUNDERLAND TERRACE, W2 | (Pages 165 - 182) |

Charlie Parker
Chief Executive
2 September 2015

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Agenda Item

CITY OF WESTMINSTER
 PLANNING APPLICATIONS COMMITTEE – 8 SEPTEMBER 2015
 SCHEDULE OF APPLICATIONS TO BE CONSIDERED

ITEM No	References/ Ward	SITE ADDRESS	PROPOSAL	
1	RN 15/02865/FULL	14 GREAT PETER STREET, SW1	Use of building for residential purposes, comprising 29 units (Class C3), construction of an extension to rear at lower ground to third floor level in place of existing external fire escape staircase, construction of a roof extension at sixth floor level with roof terrace and relocation of roof top plant.	
<p>Recommendation</p> <p>1. Grant conditional permission, subject to the completion of a S106 agreement to secure:</p> <p>a) a payment of £2,044,000 towards the City Council's affordable housing fund;</p> <p>b) car club membership for all of the residential units for a minimum period of 25 years.</p> <p>2. If the agreement has not been completed within six weeks of the date of the Committee resolution then:</p> <p>a) The Director of Planning shall consider whether the permission can be issued with additional conditions attached to secure the benefits listed above. If this is possible and appropriate the Director of Planning is authorised to determine and issue such a decision under Delegated Powers.</p> <p>b) The Director of Planning shall consider whether permission should be refused on the grounds that it has not proved possible to complete an agreement within the appropriate timescale, and that the proposals are unacceptable in the absence of the benefits that would have been secured; if so, the Director of Planning is authorised to determine the application and agree appropriate reasons for refusal under Delegated Powers.</p>				
2	RN 15/02865/FULL Lancaster Gate	1 PALACE COURT, W2	Use as six residential flats (Class C3) with associated external alterations including new access to front lightwell from pavement level and erection of rear/side extension to Palace Court elevation between second and fourth floor levels.	
<p>Recommendation</p> <p>Grant conditional permission, including a condition to secure car club membership for all of the residential flats for a minimum period of 25 years.</p>				
3	RN 14/11839/FULL RN 14/11840/LBC West End	4 MEARD STREET, W1	Use of the basement as a restaurant (Class A3) in association with the existing restaurant at ground floor level. Installation, retention and reconfiguration of plant at rear first floor level and existing high level extract duct terminating at roof level. Internal alterations at basement and ground floor level including the installation of an acoustic ceiling at ground floor level.	
<p>Recommendation</p> <p>1. Refuse permission - Impact of restaurant extension on residential amenity.</p> <p>2. Refuse listed building consent - Impact of the proposals on the special architectural interest of the building.</p>				
4	RN 15/04332/ADFULL Vincent Square	COUNCIL CLEANSING DEPOT, 50 PAGE STREET AND 11-15 REGENCY STREET, SW1	Details of brick sample, the internal layout of the basement car park and storage of refuse pursuant to Conditions 1, 3 and 5 of outline permission dated 27 August 2009 (RN: 09/05002) for redevelopment of the site to provide 32 residential units, basement car parking and a new cleansing depot. Site includes 11-15 Regency Street.	

CITY OF WESTMINSTER
 PLANNING APPLICATIONS COMMITTEE – 8 SEPTEMBER 2015
 SCHEDULE OF APPLICATIONS TO BE CONSIDERED

ITEM No	References/ Ward	SITE ADDRESS	PROPOSAL
	Recommendation Approve details.		
5	RN 14/11830/FULL Knightsbridge And Belgravia	42 CHEVAL PLACE, SW7	Excavation to create single storey basement extension and erection of a single storey ground floor rear extension.
	Recommendation Grant conditional permission.		
6	RN 15/04801/FULL RN 15/04802/LBC Hyde Park	1 - 2 ALBION STREET, W2	Partial demolition of mews property and associated internal alterations; erection of mansard roof extension to rear mews property; installation of lift to first floor level; installation of replacement timber front door and sash windows to rear elevation; installation of timber door to ground floor side elevation and two new first floor timber sash windows; and installation of rooflights, incorporating glazed skylight at second floor level.
	Recommendation 1. Grant conditional permission and conditional listed building consent. 2. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.		
7	RN 15/03069/FULL Harrow Road	31 CHIPPENHAM ROAD, W9 (ADDENDUM REPORT)	Erection of single storey rear extension at lower ground floor level and associated increase in height of boundary walls to rear garden.
	Recommendation Grant conditional permission.		
8	RN 15/04641/FULL Bayswater	8 SUNDERLAND TERRACE, W2	Erection of dormer windows to front and rear roof slopes.
	Recommendation Refuse permission - design grounds.		

Agenda Item 1

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CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Report of Director of Planning	Wards involved St James's		
Subject of Report	14 Great Peter Street, London, SW1P 3NQ		
Proposal	Use of building for residential purposes comprising 29 units (Class C3). Construction of extension to rear at lower ground to third floor level and roof extension at sixth floor level with roof terrace. Relocation of roof top plant.		
Agent	DP9 Ltd		
On behalf of	Maple Springfield Ltd		
Registered Number	15/01059/FULL	TP / PP No	TP/20608
Date of Application	06.02.2015	Date amended/ completed	12.02.2015
Category of Application	Major		
Historic Building Grade	Unlisted		
Conservation Area	Smith Square		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Within Core Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

1. Grant conditional permission subject to the completion of a S106 agreement to secure:

- a) a payment of £2,044,000 towards the City Council's affordable housing fund;
- b) car club membership for all residential units for a minimum period of 25 years.

2. If the agreement has not been completed within six weeks of the date of the Committee resolution then:

- a) The Director of Planning shall consider whether the permission can be issued with additional conditions attached to secure the benefits listed above. If this is possible and appropriate the Director of Planning is authorised to determine and issue such a decision under Delegated Powers.
- b) The Director of Planning shall consider whether permission should be refused on the grounds that it has not proved possible to complete an agreement within the appropriate timescale, and that the proposals are unacceptable in the absence of the benefits that would have been secured; if so, the Director of Planning is authorised to determine the application and agree appropriate reasons for refusal under Delegated Powers.





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2. SUMMARY

No. 14 Great Peter Street is an unlisted building of merit located on the north side of Great Peter Street at the junction with Tufton Street. The application site lies within the Smith Square Conservation Area. The application site relates to a predominantly vacant office building.

Planning permission is sought for the use of the whole building for residential purposes, comprising 29 units (Class C3), and for the construction of an extension to the rear at lower ground to third floor level (in place of existing external fire escape staircase) and roof extension at sixth floor level with roof terrace.

The key issues are:

- The acceptability of the proposals in land use terms including the affordable housing offer;
- The impact of the proposals on the surrounding highway network;
- The impact of the proposals on the character and appearance of the neighbouring listed buildings and the Smith Square Conservation Area;
- The impact of the proposals on the amenity of neighbouring residents.

Whilst the proposed development does not provide the full amount of affordable housing for viability reasons, the applicant's viability report has been reviewed by an independent expert appointed by the Council whose conclusions have been accepted by the applicant. The proposed development is considered to be acceptable in land use, design, amenity, transportation and environment terms and would comply with relevant policies in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (the City Plan).

3. CONSULTATIONS

THORNEY ISLAND SOCIETY

No objection, although noted that it is regrettable that no affordable housing can be provided on site.

WESTMINSTER SOCIETY

No objection.

ENVIRONMENT AGENCY

No objection.

PLANNING POLICY

No objection to the mix of units. Comment made that five of the family sized units will not have access to outdoor amenity space and that single aspect units should be designed to ensure overheating does not occur.

HIGHWAYS PLANNING MANAGER

Object to the lack of off-street car parking.

CLEANSING MANAGER

No objection.

ENVIRONMENTAL HEALTH

Object on the grounds that means of escape for some of the units is inadequate and that, should a 'whole house' mechanical ventilation system be introduced, openable windows must be allowed to allow ventilation and cooling.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 74; Total No. of Replies: 16.

16 responses from 13 addresses have been received on the following grounds:

Design

- Any increase in height of roof will be damaging to local views;
- Roof extension will negatively impact the view from neighbouring streets;
- The rear infill extension will detract from the architectural merit of the Arts and Crafts house at 8 Barton Street.

Amenity

- Noise from the proposed roof top plant;
- The sunlight and daylight assessment does not take into consideration windows which have been approved and yet to be installed to 9 Barton Street;
- Loss of light to 8 Barton Street from roof extension and rear infill extension.

Highways

- No car parking is proposed and this will result in extra pressure on the existing on-street parking.

Other

- Noise and disruption during the course of works;
- An approval will result in a precedent for other conversions;
- Lack of consultation to residents in wider area.

ADVERTISEMENT/SITE NOTICE: Yes.

4. BACKGROUND INFORMATION**4.1 The Application Site**

No. 14 Great Peter Street is an unlisted building of merit located on the north side of Great Peter Street at the junction with Tufton Street. The application site lies within the Smith Square Conservation Area. The application site relates to a predominantly vacant office building but part of the building is occupied by charities.

The building consists of a part basement with seven storeys above, with the top two storeys forming a double mansard roof on the south and east elevations. There is a roofed plant room and screened plant on the main roof approved in 1998.

There are a number of residential properties surrounding the site most notably at 19 Cowley Street, 8 and 9 Barton Street and Westminster Mansions.

4.2 Relevant History

In 1998, planning permission was granted for a roof top plant enclosure and associated screening.

5. THE PROPOSAL

Planning permission is sought for the use of the whole building for residential purposes, comprising 29 units. The mix of units is 8x1 bedroom, 12x2 bedroom, 8x3 bedroom and 1x5

bedroom (Class C3). An extension is proposed to the rear between lower ground and third floor level in place of an existing external fire escape staircase. A roof extension is proposed at sixth floor level to replace an area of screened plant to provide residential accommodation (41m²) and also incorporates a terrace. The roof top plant is also to be relocated into an existing roof plant enclosure.

6. DETAILED CONSIDERATIONS

6.1 Land Use

6.1.1 Loss of Office Use

The proposals would result in the loss of office floorspace within the Core CAZ amounting to 4391m².

As of 1 September 2015, applications which seek to convert offices to residential accommodation in the Core CAZ will be assessed against Policy S47 of Westminster's City Plan which seeks to secure development that improves the economic, social and environmental conditions in the area under a 'presumption in favour of sustainable development' in line with national policy.

At the time of submission, there were no policies within the UDP or City Plan which specifically sought to protect office floorspace, and on this basis its loss is considered acceptable in land use terms.

6.1.2 Residential Use

Policy S14 of Westminster's City Plan and Policy H3 of the UDP seek to maximise the amount of land or buildings in residential use. The introduction of 29 residential units on the site would make an important contribution to new housing provision helping the Council meet its housing target and is welcomed in policy terms.

The mix of the residential units is summarised below:

Unit Type	Number	%
1 bed	8	28%
2 bed	12	41%
3 bed	8	28%
5 bed	1	3%

The City Council wants to encourage more families to move into and stay in Westminster by providing more family sized housing. Policy H5 of the UDP requires that 33% of housing units be family sized (being three or more bedrooms). Whilst not fully policy compliant, the mix of units in terms of number of bedrooms is considered acceptable providing 31% family sized accommodation, with one of the units providing five bedrooms and therefore it is considered that Policy H5 of the UDP is met.

The units proposed would range in size between 55m² and 189m². The units are typical for this type of development and are not considered oversized and as such, comply with Policy S14 which requires the number of residential units on development sites to be optimised. 10% of the proposed residential units have been designed to meet Lifetime Homes standards where possible. All units have been designed to meet the Mayor's dwelling space standards as set out in London Plan Policy 3.5.

Nine of the 29 flats will have access to amenity space ranging in size from 5m² to 30m² and this is welcomed. Whilst it is acknowledged that some of the family sized units will not have

access to private amenity space, given that the application involves converting an existing building, the extent of amenity space is acceptable in this instance.

It is accepted that the background noise levels in this area of the City are relatively high. Policy ENV6 of the UDP states that residential developments are required to provide adequate protection from existing background noise as well as noise from within the development itself.

The application includes an acoustic report which examines the likely impact of new external plant and the internal noise levels for the proposed flats. The applicant proposes measures to mitigate against external noise sources which include the provision of comfort cooling to each flat and the replacement of windows and glazing. Environmental Health has confirmed they have no objection subject to the imposition of conditions to secure these measures.

6.1.4 Affordable Housing

The new residential floorspace triggers a requirement for the provision of affordable housing under Policy H4 of the UDP and Policy S16 of Westminster's City Plan. Policy S16 of the City Plan requires that, in developments proposing housing of either 10 or more additional units or more than 1,000m² of additional residential floorspace, affordable housing should be provided.

Policy S16 requires affordable housing to be provided on-site but where this is not practicable or viable, cascade options allow for it to be provided off-site in the vicinity or possibly beyond the vicinity. The supporting text to this policy notes that financial contributions in lieu of affordable housing provision is an option the Council will only accept if the cascade options have been thoroughly explored and proved impracticable or unfeasible.

In this case the additional 4432m² GEA of residential floorspace proposed would require the provision of 1108m² of affordable housing or 14 units on site. The applicant has produced a viability report in line with the guidance contained in the London Plan.

The applicant argues that providing affordable housing on site will make their development unviable. The Council's independent consultants, BNP Paribas accept this position. The applicant also confirmed that they do not own another available site within the vicinity or within Westminster and is therefore unable to pursue an off-site solution. The applicant originally put forward a case that developing this site would not be viable if they were liable for any affordable housing payment, however, a gesture of goodwill was offered with a contribution proposed of £500,000. BNP Paribas assessed the applicant's viability case and disagreed with this approach and confirmed that the development would still be viable with a contribution. Further to lengthy discussions regarding costs (which have further been independently assessed by Synergy LLP), a number of assumptions made by the applicant have been accepted. On this basis, BNP Paribas consider that the scheme can viably afford to make an affordable housing contribution of £2,015,000. This is considered to be the maximum reasonable amount of affordable housing contribution that the development can support and is considered acceptable given the circumstances of the case. The applicant has agreed to make this financial contribution which can be secured through a S106 legal agreement. A policy compliant financial contribution would be £4,674,000.

6.2 Townscape and Design

In design terms there are principally two alterations proposed, a roof extension and a rear infill extension.

The roof extension would be partially visible from the surrounding streets. Policy DES 6 restricts the erection of roof level extensions above existing mansards. However, in this case

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the presence of an existing roof structure and the minimal nature of the revised roof level alterations means that they would cause little harm to the existing character and appearance of the conservation area. The extension is to be constructed in slate which is traditionally found at roof level (samples are to be agreed by way of condition) and of a design which mimics the existing enclosure. Furthermore, the use of the roof, north and west of the extension, as a terrace is acceptable in principle given that the balustrades are set back sufficiently to restrict views from the surrounding streets. A condition to secure a further set back of the roof railings is attached and details of the proposed terrace railings are, however, to be agreed.

The infill extension removes an unsightly escape stair and 'squares off' the building. The revised extension design sits one storey below the parapet line and is therefore compliant with Policy DES5. Given the proposed location and unsightly nature of the existing rear elevation, the works are not considered to harm the character and appearance of the conservation area and are therefore deemed acceptable in design terms. The extension is to be constructed in materials to match the existing rear elevation.

New windows and doors are proposed throughout and these are to be constructed to match the existing in terms of materials. Internal secondary glazing is also proposed. As the building is not listed there is no requirement for additional details. Details of the new windows and doors are, however, to be secured by way of condition.

The proposals are considered to preserve and enhance the character and appearance of the Smith Square Conservation Area.

6.3 Amenity

Policy ENV13 of the UDP states that the Council will resist proposals that would result in a material loss of daylight/sunlight, particularly to dwellings, and that developments should not result in a significant increased sense of enclosure, overlooking or cause unacceptable overshadowing. Similarly, Policy S29 of Westminster's City Plan aims to protect the amenity of residents from the effects of development.

Objections have been received from neighbours on the grounds of loss of light from the roof extension and the rear infill extension, that the sunlight and daylight assessment does not take into consideration windows which have been approved but yet to be installed to 9 Barton Street and noise from the proposed roof top plant.

Sunlight/Daylight/Privacy

The nearest residential accommodation is at 8 Barton Street to the north east of the site. The applicant has appointed daylighting consultants Point 2 Surveyors, who confirm that all the windows in the rear elevation of 8 Barton Street will meet the VSC daylight test which permits losses of up to 20% VSC. In terms of 'no sky line', all but one of the rear windows are either unaffected or minimally affected by the proposal. One window serves a library and given its position within the house and location facing a tight lightwell, already experiences poor daylight distribution. The room will lose 24.2% of its direct skylight which exceeds the 20% recommended by the BRE. Given that this reduction is only slightly above BRE guidance, the nature and existing location of the room and that the proposals comply with regards to VSC, the proposals are considered acceptable.

The assessment also confirms that the proposed rear extension and roof extension would not impact upon the south facing windows of the rear projection of 8 Barton Street in terms of sunlight. All other windows which are in the rear elevation face west.

The next nearest residential property is 9 Barton Street. The assessment also confirms that the proposed development will result in BRE compliance with regards to this property. There is an extant permission (13/10676/FULL) to insert additional windows into the rear of 9 Barton Street, which were not included as part of the assessment. The surveyors have confirmed that as the original analysis showed no detrimental effect to the existing windows of the rear of 9 Barton Street, that the development will have no further impact upon these new windows, if permission 13/10676/FULL was implemented.

There are no windows in the rear of 9 Barton Street which face 90 degrees of due south and therefore a sunlight assessment has not been undertaken.

In terms of overshadowing to the gardens of 8 and 9 Barton Street, there is no material change to what is currently experienced.

A number of patios/terraces are proposed within the development. The lower ground floor and upper ground floor patios are all contained behind boundary walls and are not considered to result in any overlooking. The first floor terrace will face east towards a flat within the development and 8 Barton Street. The windows of 8 Barton Street will be approximately 7m away from the terrace but given their glazing pattern and oblique views, it is not considered that any harmful overlooking would occur. The terrace at fourth floor level (above the rear infill extension), the terrace at fifth floor level (which is already an accessible flat roof) and the terrace at main roof level are all considered to be sufficiently high up on the building to prevent any detrimental overlooking into neighbouring properties.

It is not considered that any noise created from people using these terraces would be so significant as to warrant refusal. It would be equivalent to noise created when using a garden for example.

Noise

Mechanical plant is proposed within a plant enclosure at main roof level. Environmental Health officers have confirmed no objection subject to the Council's standard noise conditions and a further condition requiring the submission of a supplementary acoustic report once the plant selection is finalised. Subject to these conditions, it is considered that the plant will not result in noise nuisance or a loss of neighbouring amenity.

The proposals are considered acceptable in amenity terms.

6.4 Transportation/Servicing

Policy TRANS23 requires, where appropriate and practical, the provision of off-street parking for new residential developments. Given the site constraints, including the lack of vehicular access into the application site, car parking is not provided as part of the proposals. This has raised objections from residents.

The Highways Planning Manager objects to the proposals on the grounds of lack of car parking provision contrary to Policy TRANS23. The policy states that the Council will normally consider there to be a serious deficiency where additional demand would result in 80% or more of available legal on-street parking spaces. The evidence of the Council's most recent parking survey in 2011 indicates that parking occupancy of legal parking spaces within a 200m radius of the site is 45% at night and 87% during the day.

In response to the inability to provide off-street parking, the applicant proposes the funding of lifetime car club membership to all new residents (25 years) and a contribution to fund the

undertaking of on-street parking surveys through a financial contribution of £29,000 (£1000 per flat). Under the new Community Infrastructure Levy Regulations (2010 as amended), the Council cannot currently collect such a payment and it is recommended that this money be put towards the Council's affordable housing fund instead. It is recommended that this is secured by a legal agreement.

Given that the site is highly accessible by public transport and that there is no option to provide off-street parking, it would be considered unreasonable to refuse permission on this basis. The car club membership is proposed to be secured by way of a legal agreement.

Refuse storage is proposed within the building at lower ground floor level and will be accessed from within the building for residents and from Tufton Street for collection. This is considered acceptable. However, the doors to the refuse storage area open outwards over the pavement which is considered contrary to Policy TRANS 3 of the UDP and S42 of the City Plan. The applicant confirms that these doors can open inwards and it is therefore recommended that a condition to secure this detail is attached.

6.5 Economic Considerations

The proposal is in accordance with the UDP and the economic benefits generated are welcomed.

6.6 Access

Street level is at a half-level between upper ground and lower ground floors. The main entrance in the centre of the Great Peter Street façade is to be maintained. The entrance leads to a stair providing access to both upper and lower ground floors, from which two lifts and a further stair lead to the upper floors. Allowance has been made to adapt the entrance through the provision of a platform lift should it be required by occupants in the future.

6.7 Other UDP/Westminster Policy Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.8 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.9 Planning Obligations

On 6 April 2010 the Community Infrastructure Levy (CIL) Regulations came into force which make it unlawful for a planning obligation to be taken into account as a reason for granting planning permission for a development, or any part of a development, whether there is a local CIL in operation or not, if the obligation does not meet all of the following three tests:

- a) necessary to make the development acceptable in planning terms;
- b) directly related to the development; and
- c) fairly and reasonably related in scale and kind to the development.

Policy S33 of the City Plan relates to planning obligations. It states that the Council will require mitigation of the directly related impacts of development; ensure the development complies with policy requirements within the development plan; and, if appropriate, seek contributions for supporting infrastructure. Planning obligations and any Community Infrastructure Levy contributions will be sought at a level that ensures the overall delivery of appropriate development is not compromised.

From 6 April 2015, the Community Infrastructure Levy Regulations (2010 as amended) impose restrictions on the use of planning obligations requiring the funding or provision of a type of infrastructure or a particular infrastructure project. Where five or more obligations relating to planning permissions granted by the City Council have been entered into since 6 April 2010 which provide for the funding or provision of the same infrastructure types or projects, it is unlawful to take further obligations for their funding or provision into account as a reason for granting planning permission. These restrictions do not apply to funding or provision of non-infrastructure items (such as affordable housing) or to requirements for developers to enter into agreements under Section 278 of the Highways Act 1980 dealing with highway works. The recommendations and detailed considerations underpinning them in this report have taken these restrictions into account.

The City Council has consulted on the setting of its own Community Infrastructure Levy, which is likely to be introduced later in 2015. In the interim period, the City Council has issued interim guidance on how to ensure its policies continue to be implemented and undue delay to development avoided. This includes using the full range of statutory powers available to the Council and working pro-actively with applicants to continue to secure infrastructure projects by other means, such as through incorporating infrastructure into the design of schemes and co-ordinating joint approaches with developers.

For reasons outlined elsewhere in this report, a S106 agreement will be required to secure the following.

- a) Affordable housing payment in lieu of on site provision of £2,044,000 (including £29,000 in lieu of a parking mitigation payment – see Highways section of this report above).
- b) Lifetime car club membership for residents of the development.

It is considered that the draft 'Heads of Terms' listed above satisfactorily address City Council policies. The planning obligations to be secured, as outlined in this report, are in accordance with the City Council's adopted City Plan and London Plan policies and they do not conflict with the Community Infrastructure Levy Regulations (2010 as amended).

6.10 Environmental Assessment including Sustainability and Biodiversity Issues

Policy 5.2 of the London Plan refers to Minimising Carbon Dioxide Emissions and states that development proposals should make the fullest contribution to minimising carbon dioxide emissions in accordance with the following energy hierarchy:

1. Be lean: use less energy.
2. Be clean: supply energy efficiently.
3. Be green: use renewable energy.

The applicant has submitted an Energy Statement which follows the 'lean, clean and green' energy hierarchy.

Policy S39 of the City Plan states that major development should be designed to link to and extend existing heat and energy networks in the vicinity, except where the Council considers that it is not practical or viable to do so. Policy S40 considers renewable energy and states that all major development throughout Westminster should maximise on-site renewable energy generation to achieve at least 20% reduction of carbon dioxide emissions, and where feasible, towards zero carbon emissions, except where the Council considers that it is not appropriate or practicable due to the local historic environment, air quality and/or site constraints.

Reducing energy demand

A range of passive design features and demand reduction measures are proposed such as mechanical ventilation and heat recovery. The development's overall CO2 emissions will be reduced by 32%, just under the London Plan's requirement to achieve a 35% reduction compared to Part L of the Building Regulations 2013. As the proposals still represent a significant reduction in CO2 emissions overall, the proposals are still considered acceptable in this respect.

Supplying energy cleanly

It is not proposed to provide any 'clean' energy measures. In schemes of this nature, a Combined Heat and Power (CHP) could be considered appropriate. The applicant has argued that CHP is not technically viable due to the small heat demand and the absence of the base load required for a CHP unit to operate efficiently and cost effectively.

The Energy Strategy confirms that a part centralised Air Source Heat Pump (ASHP) is proposed. The carbon emissions for the ASHP are approximately 10%-14% more efficient than a communal boiler system.

Using renewable energy sources

There are no renewable energy technologies proposed on this development.

Whilst regrettable, given that the roof is to be utilised by an existing plant room, the proposed extension and its adjoining terrace, there is little opportunity for photovoltaics and solar water heating for example.

BREEAM Domestic Refurbishment

The pre-assessment report demonstrates that a BREEAM Excellent rating can be achieved with a score of 77.55%.

Biodiversity

Given that the roof is to be utilised by an existing plant room, the proposed extension and its adjoining terrace, there is little opportunity for biodiversity roofs.

6.11 Other issues

Objections have been raised on the grounds of noise and disruption during the course of building works. This is not considered to be a material planning consideration, however, the

applicant has submitted a Construction Management Plan (CMP) which seeks to minimise the amount of noise and nuisance caused during the work and compliance with CMP and standard hours of working will be conditioned.

Further objections are also raised on the grounds that by allowing a development of this nature with no car parking could set an unacceptable precedent. Once again, this is not a material planning consideration and each application must be assessed on its own merits.

6.12 Conclusion

Whilst the offer of £2,015,000 towards affordable housing falls short of the amount sought by policy, this has been reviewed by the Council's independent consultant who agrees that the amount offered is the maximum reasonable amount the scheme can support. In these circumstances, it is considered that the affordable housing offer is satisfactory. In all other respects the proposal is considered acceptable in land use, design and amenity terms and therefore planning permission is recommended for approval.

BACKGROUND PAPERS

1. Application form.
2. Letter from Thorney Island Society dated 25 March 2015.
3. Letter from Westminster Society received 11 March 2015.
4. Memoranda from Environmental Health dated 20 February and 5 May 2015.
5. Memorandum from Cleansing Manager dated 20 February 2015.
6. Memorandum from Highways Planning Manager dated 24 February 2015.
7. Memorandum from City Planning dated 25 February 2015.
8. Letter from Environment Agency dated 12 March 2015.
9. Letter on behalf of occupiers of 11 Tufton Street dated 19 February 2015.
10. Letter from occupier of 17 Cowley Street dated 2 March 2015.
11. Letters from occupier of 13 Cowley Street dated 11 December 2014 and 5 March 2015.
12. Letter from occupier of 10 Barton Street received 6 March 2015.
13. Letter from occupier of 9 Barton Street dated 8 March 2015.
14. Letter from occupier of 3 Barton Street dated 9 March 2015.
15. Letters from occupier of 15 Great College Street dated 15 December 2014 and 9 March 2015.
16. Letter from occupier of 10 Great Peter Street dated 9 March 2015.
17. Letter from owner/occupier of 8 Barton Street dated 9 March 2015.
18. Letter from occupier of 18 Cowley Street dated 10 March 2015.
19. Letter from occupier of 15 Lord North Street dated 11 March 2015.
20. Letter from occupier of 57a Tufton Street dated 16 March 2015.
21. Letter from occupier of 18 Cowley Street received 19 March 2015.
22. Letter from occupier of 11 Lord North Street dated 20 March 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT MATTHEW MASON ON 020 7641 2926 OR BY E-MAIL – mmason@westminster.gov.uk

DRAFT DECISION LETTER

Address: 14 Great Peter Street, London, SW1P 3NQ

Proposal: Use of building for residential purposes comprising 29 units (Class C3). Construction of extension to rear at lower ground to third floor level and roof extension at sixth floor level with roof terrace. Relocation of roof top plant.

Plan Nos: PL(00)00 A; EX(01): 01 A; 02 A; 03 A; 04 A; 05 A; 06 A; 07 A; 08 A; 09 A; EX(02): 01 A; 02 A; 03 A; 04 A; PL(03) 03 A; EX(03): 01 A; 02 A; PL(03)03 A; PL(00) B A; LG A; UG A; 01 A; 02 A; 03 A; 04 A; 05 B; 06 B; 07 A; PL(03): 01 B; 02 B; 03 B; PL(02): 01 B; 02 B; 03 A; 04 B; 05 B; 06 A; Covering letters dated 5 February and 17 June 2015; Planning Statement; Design and Access Statement including Heritage Statement ; Daylight, Sunlight and Overshadowing Report; BREEAM Domestic Refurbishment Report; Energy and Sustainability Statement; Construction Management Plan; Utility Statement; Transport Statement; Acoustic Report; Statement of Community Involvement; Flood Risk Assessment; Crime Prevention Statement.

Case Officer: Hannah Stutchbury

Direct Tel. No. 020 7641 5944

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 You must apply to us for approval of detailed drawings showing the following alteration(s) to the scheme:
- i) a set back of the railings to the roof top terrace from the Tufton Street elevation by 1.7m;
 - ii) a reduction in size of the roof top terrace to be set within the railings, as prescribed by i) above.
 - iii) removal of the existing roof safety railings on the Great Peter Street elevation, from the corner with Tufton Street to the door to the roof top plant room;

You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The development shall be carried out in accordance with the approved Construction Management Plan at all times.

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

- 5 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 6 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 You must apply to us for approval of detailed drawings at 1:10 and sections at 1:5 of the following parts of the development
- i) windows;
 - ii) doors;
 - iii) railings.

You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Smith Square Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 8 You must apply to us for approval of detailed drawings showing the following alteration(s) to the scheme:

i) the lower ground floor doors onto Tufton Street opening inwards.

You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 9 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:

- (a) A schedule of all plant and equipment that formed part of this application;
- (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
- (c) Manufacturer specifications of sound emissions in octave or third octave detail;
- (d) The location of most affected noise sensitive receptor location and the most affected window of it;
- (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
- (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
- (g) The lowest existing L A90, 15 mins measurement recorded under (f) above;
- (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
- (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 10 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 11 You must apply to us for approval of details of a supplementary acoustic report demonstrating that the plant will comply with the Council's noise criteria as set out in Condition 9 of this permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 12 The design and structure of the development shall be of such a standard that it will protect residents within the same building or in adjoining buildings from noise and vibration from the development, so that they are not exposed to noise levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at section 9.76, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same or adjoining buildings from noise and vibration from elsewhere in the development.

- 13 You must apply to us for approval of sound insulation measures and a Noise Assessment Report to demonstrate that the residential units will comply with the Council's noise criteria set out in Condition 12 of this permission. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to the details approved before the residential units are occupied and thereafter retain and maintain.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 14 You must provide the waste store shown on drawing lower ground floor plan before anyone moves into the property. You must clearly mark it and make it available at all times to everyone using the building. You must store waste inside the property and only put it outside just before it is going to be collected. You must not use the waste store for any other purpose. (C14DC)

- 15 You must provide each cycle parking space shown on the approved drawings prior to occupation. Thereafter the cycle spaces must be retained and the space used for no other purpose without the prior written consent of the local planning authority.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order

to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 Under Condition 3 we are likely to accept a legal agreement under Section 106 of the Town and County Planning Act to secure a financial payment (index linked) towards affordable housing for £2,044,000 and free lifetime (25 years) car club membership for residents of the development as set out in the supporting application correspondence from DP9 . Please look at the template wordings for planning obligations (listed under 'Supplementary Planning Guidance') on our website at www.westminster.gov.uk. Once the wording of the agreement has been finalised with our Legal and Administrative Services, you should write to us for approval of this way forward under this planning condition. (I77AA)

- 3 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work.

Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

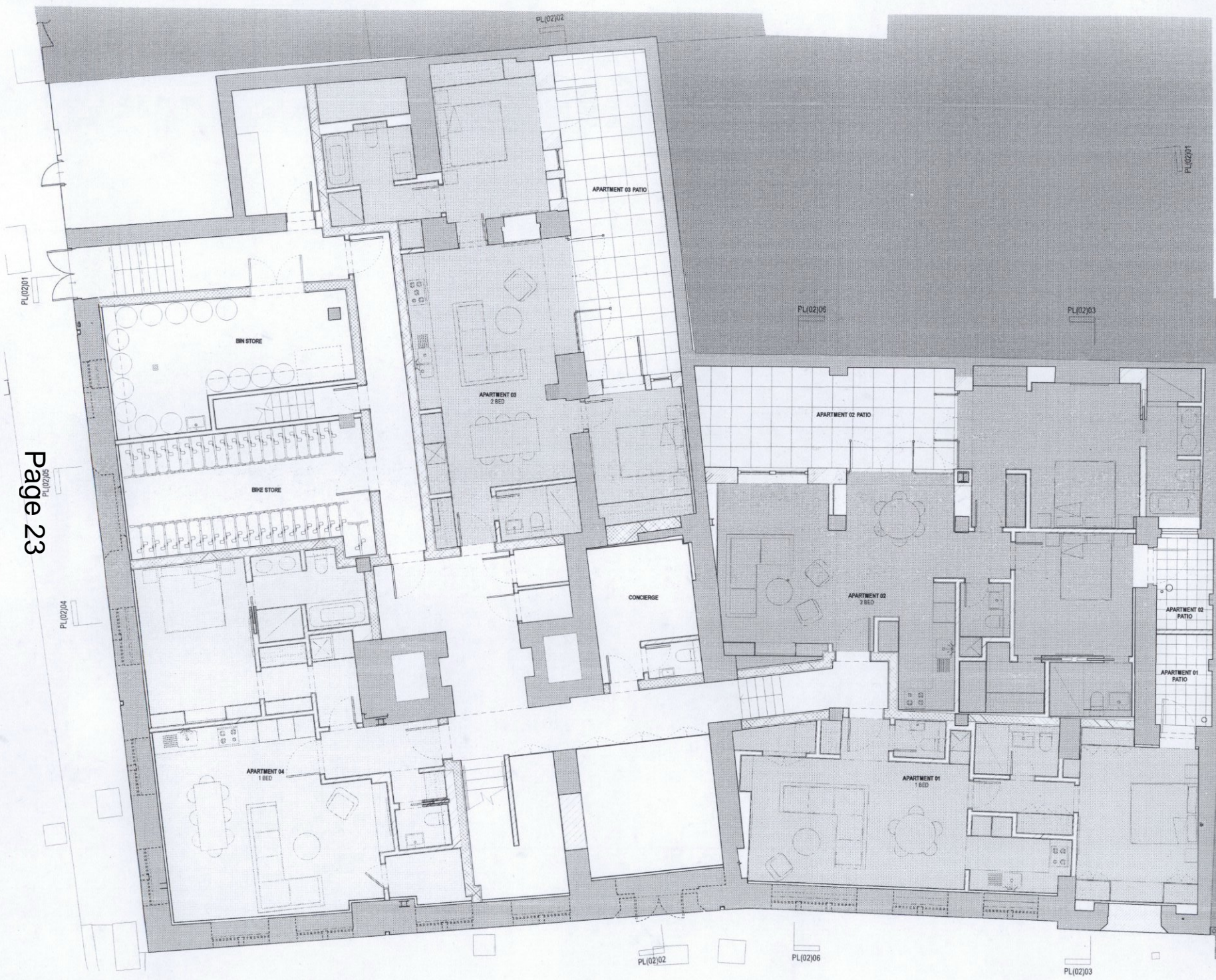
24 Hour Noise Team
Environmental Health Service
Westminster City Hall
64 Victoria Street
London
SW1E 6QP

Phone: 020 7641 2000

Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (I50AA)

- 4 You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, siteenquiries@ccscheme.org.uk or visit www.ccscheme.org.uk.
- 5 This development has been identified as potentially liable for payment of the Mayor of London's Community Infrastructure Levy (CIL). Responsibility for paying the levy runs with the ownership of the land, unless another party has assumed liability. We will issue a CIL Liability Notice to the landowner or the party that has assumed liability with a copy to the planning applicant as soon as practicable setting out the estimated CIL charge. If you have not already done so you must submit an **Assumption of Liability Form** to

ensure that the CIL liability notice is issued to the correct party. This form is available on the planning portal at <http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil>
Further details on the Mayor of London's Community Infrastructure Levy can be found on our website at: <http://www.westminster.gov.uk/services/environment/planning/apply/mayoral-cil/>.
You are reminded that payment of the CIL charge is mandatory and there are strong enforcement powers and penalties for failure to pay.



Notes

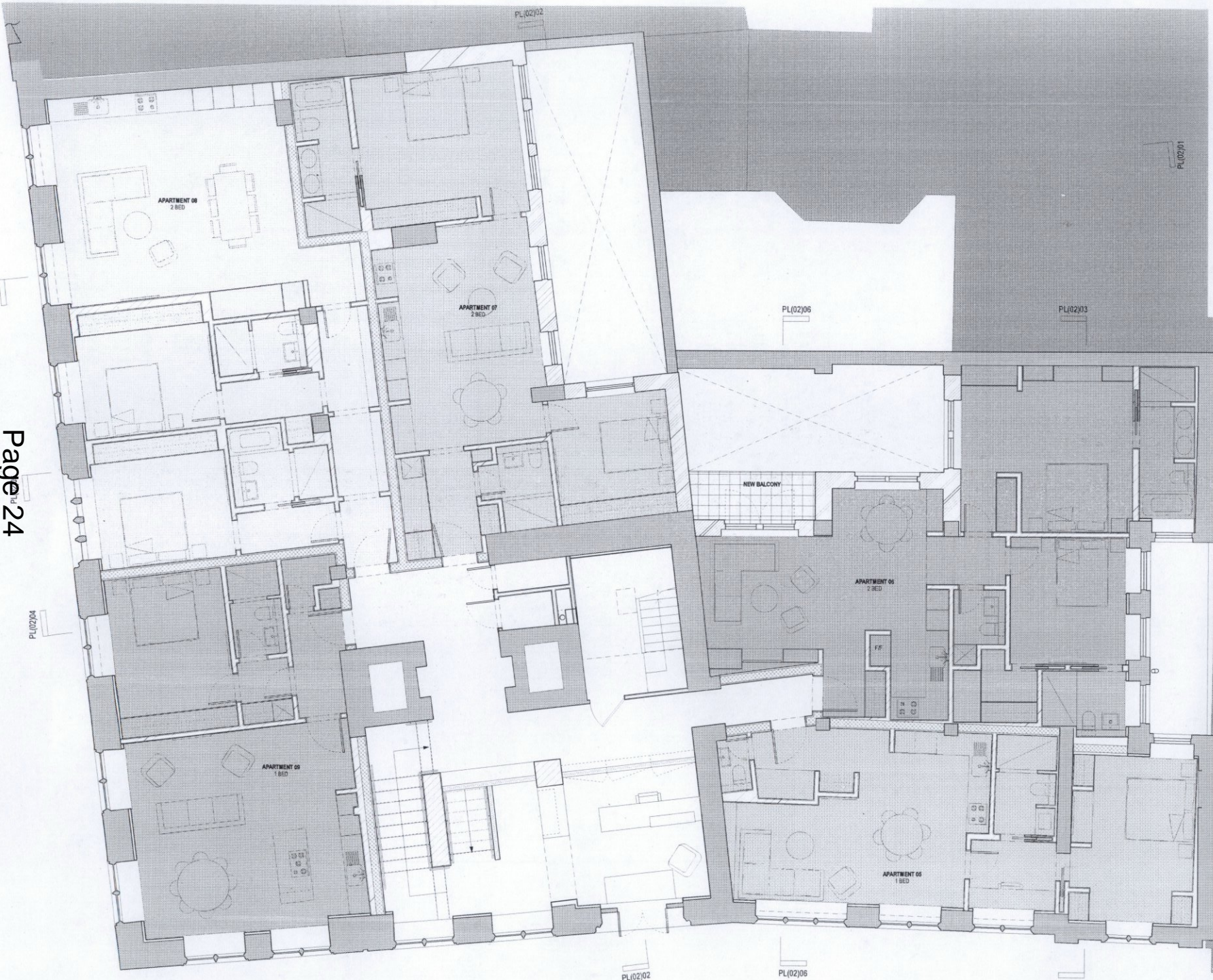
1. Do not scale from drawing.
2. All dimensions in millimetres unless noted otherwise.
3. No variation may be made from the details shown on this drawing without the prior permission of the architect.

Any discrepancy between this and any other documents shall be referred immediately to the architect, 16 St Dunstons Hill.

Revisions

A 30.01.15 Issued for planning

Client **Maple Springfield**
 Project **14 Great Peter Street**
 Drawing Title **Proposed Lower Ground Floor Plan**
 Scale **1:50 / A1** Date **Oct 2014** Drawn **AL**
 Job no. **1413** Dwg no. **PL(00)LG** Rev no. **A**
BARBARA WEISS ARCHITECTS LTD
 14 BANK TOWER, 25-26 TILBURN, LONDON SW1W 9JF, TEL: 020 7522 4418



Notes

1. Do not scale from drawing.
2. All dimensions are millimetres unless stated otherwise.
3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.

Any discrepancies between this and any other documents shall be referred immediately to the architect, P/B 000007 1/02

Revisions

A 30.01.15 Issued for planning

Client **Maple Springfield**
 Project **14 Great Peter Street**
 Drawing Title **Proposed Upper Ground Floor Plan**
 Scale **1:50 / A1** Date **Oct 2014** Drawn **AL**
 Job no. **1413** Dwg no. **PL(00)UG** Rev no. **A**
BARBARA WEISS ARCHITECTS LTD
 MILLIKEN TOWER, 270A BILMORAN, GLOUCESTER, GLOUCESTERSHIRE, GL1 2JH

PL(02)01

PL(02)05

PL(02)04

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PL(02)06

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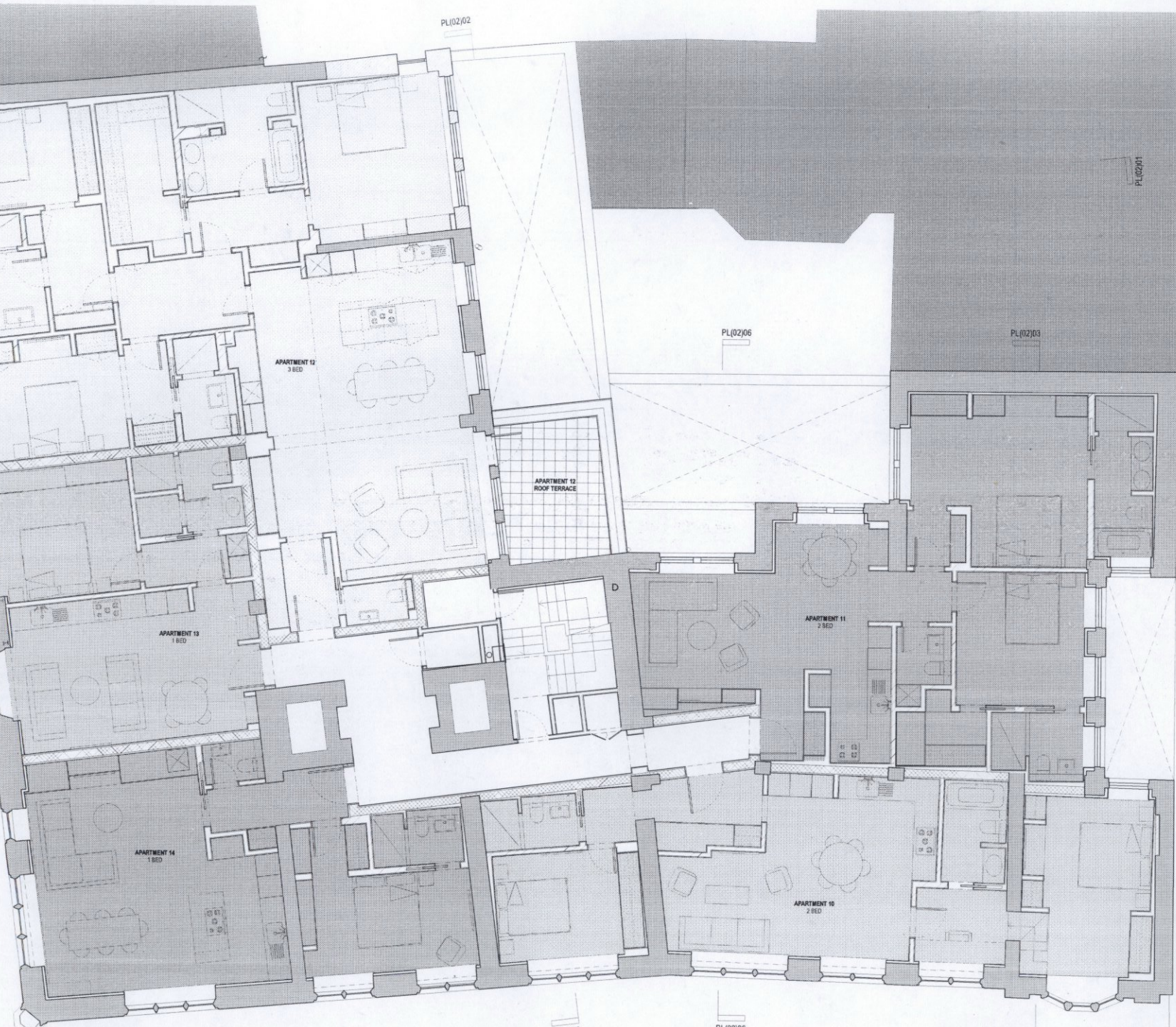
PL(02)02

PL(02)06

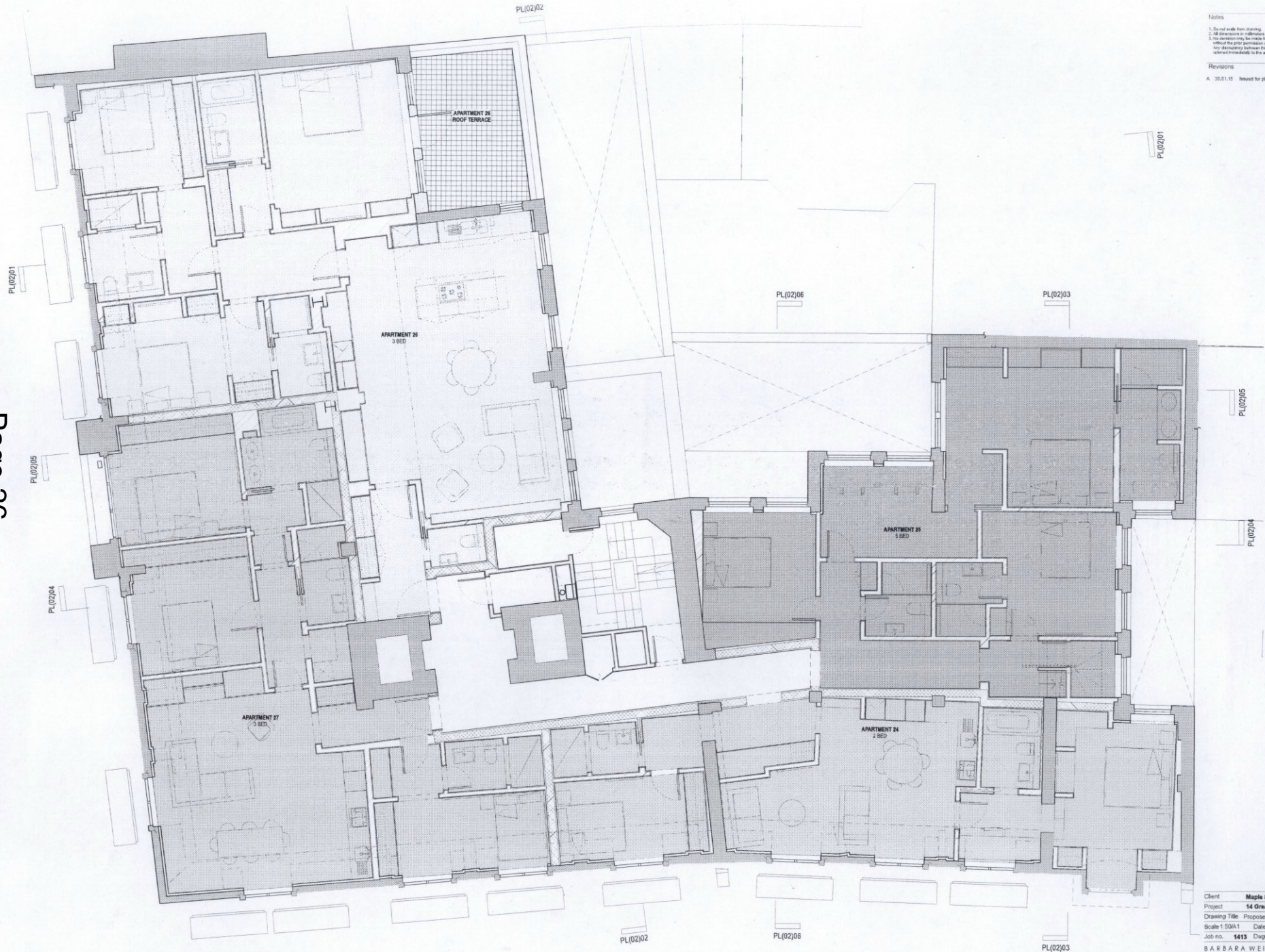
PL(02)03

Notes
1. Do not scale from drawing.
2. All dimensions to millimeter unless stated otherwise.
3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.
Any discrepancy between this and any other documents shall be referred immediately to the architect at 91 DODD ST. A.S.C.

Revisions
A 30.01.15 Issued for planning



Client **Maple Springfield**
Project **14 Great Peter Street**
Drawing Title Proposed First Floor Plan
Scale 1:50 / A1 Date Oct 2014 Drawn AL
Job no. **1413** Dwg no. PL(02)01 Rev no. A
BARBARA WEISS ARCHITECTS LTD
MILBURN TOWER 24 QUEENSLAND ST. LONDON W1 4 4 3P TEL 020 7 733 8955



Notes
1. Do not scale from drawing.
2. All dimensions in millimeters unless stated otherwise.
3. No alterations may be made from the details shown on this drawing without the prior permission of the architect.
4. Any discrepancy between this and any other documents shall be referred immediately to the architect, IP 31 DOGS' HEAD.

Revisions
A 30.01.15 Issued for planning

Client Maple Springfield
Project 14 Great Peter Street
Drawing Title Proposed Fourth Floor
Scale 1:500A1 Date Oct 2014 Drawn AL
Job no. 1413 Dwg no. PL(02)04 Rev no A
BARBARA WEISS ARCHITECTS LTD
18, 19 & 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

PL(02)02

- Notes
1. Do not scale from drawing.
 2. All dimensions are dimensions unless noted otherwise.
 3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.
- Any discrepancy between this and any other documents shall be referred immediately to the architect, 88 St Dunstons Place.

- Revisions
- | | | |
|---|----------|----------------------|
| A | 20.01.15 | based for planning |
| B | 13.05.15 | Apartment 28 revised |

PL(02)01

PL(02)04

PL(02)01

PL(02)05

PL(02)03

APARTMENT 28
3 BED

DUPLEX ROOF TERRACE
(EXISTING)

PL(02)05

PL(02)04

APARTMENT 29
1 BED

APARTMENT 25
3 BED

PL(02)02

PL(02)06

PL(02)03

Client **Maple Springfield**
Project **14 Great Peter Street**
Drawing Title **Proposed Fifth Floor**
Scale **1:50/A1** Date **Oct 2014** Drawn **AL**
Job no. **1413** Dwg no. **PL(02)05** Rev no. **B**
BARBARA WEISS ARCHITECTS LTD
14, 15 & 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

PL(02)01

PL(02)02

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PL(02)06

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PL(02)03

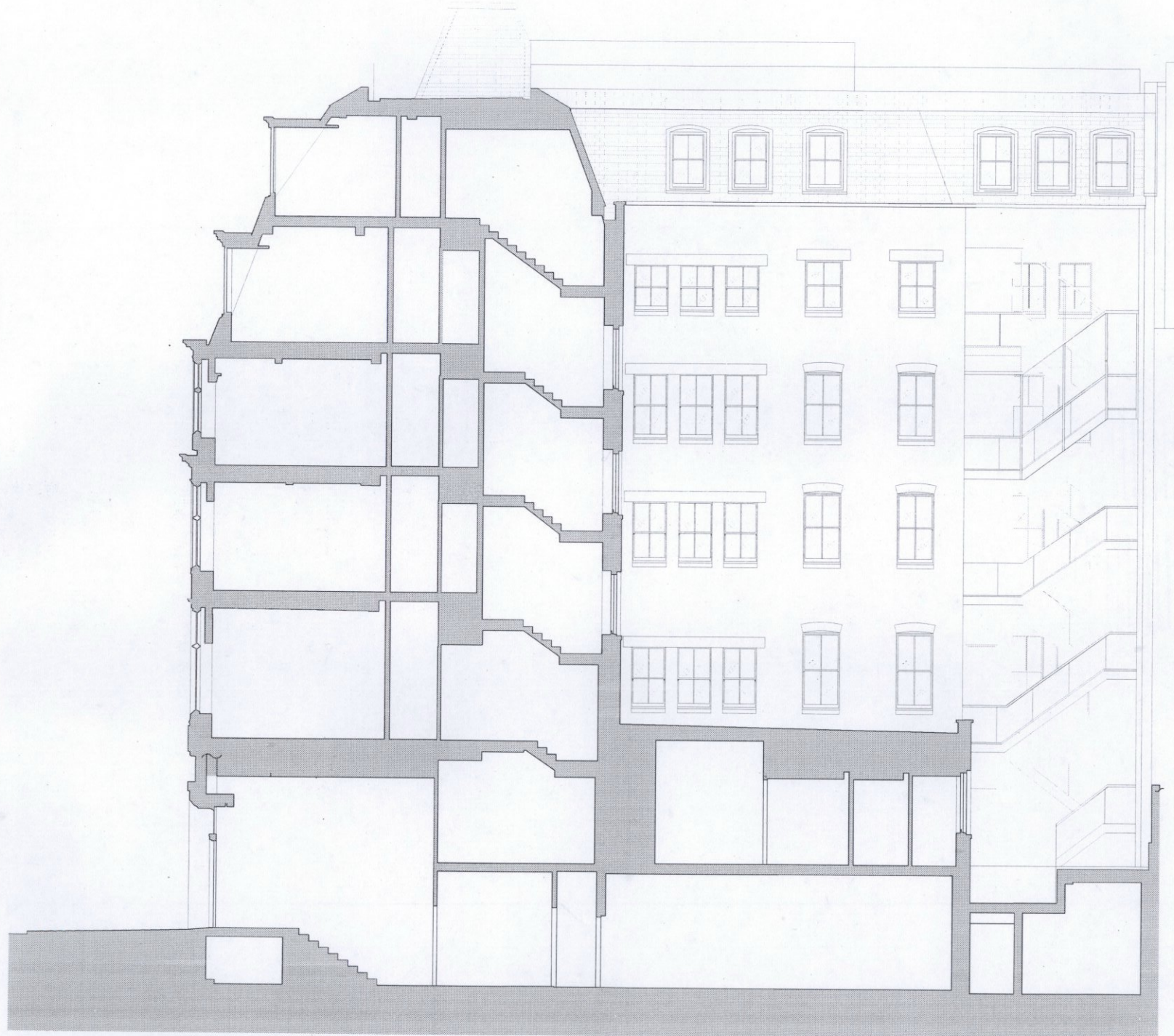
Notes

1. Do not scale from drawings.
 2. All dimensions in millimetres unless stated otherwise.
 3. No construction may be made from the details shown on this drawing without the prior permission of the architect.
- Any discrepancy between this and any other documents shall be referred immediately to the architect, if in doubt - ASK.

Revisions

- | | | |
|---|----------|---------------------------------------------|
| A | 20.01.15 | Issued for planning |
| B | 13.05.15 | Partitions revised, plant and ratings added |

Client **Maple Springfield**
Project **14 Great Peter Street**
Drawing Title **Proposed Sixth Floor / Roof Plan**
Scale **1:50 / A1** Date **Oct 2014** Drawn **AL**
Job no. **1413** Dwg no. **PL(02)06** Rev no. **B**
BARBARA WEISS ARCHITECTS LTD
MILKWAY TOWER, 24-26 MILLBURN, LONDON, SW1P 3QP, TEL: 020 7333 4128



Notes
1. Do not scale from drawing.
2. All dimensions in millimeters unless noted otherwise.
3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.
Any discrepancy between this and any other documents shall be referred immediately to the architect, © 2014 CWA, AEC.

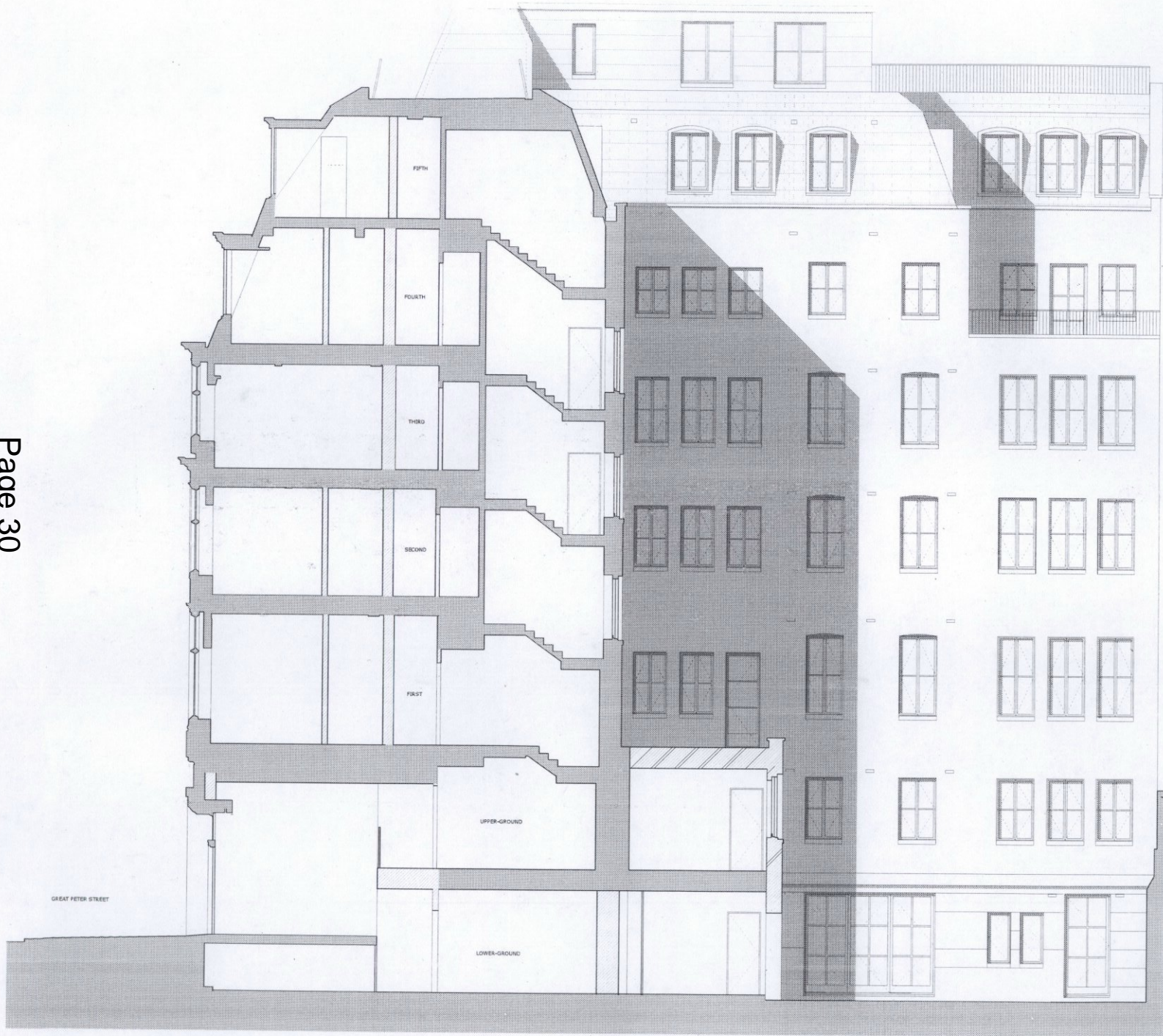
Revisions
A 15.10.14 Issued for information

1 Existing Section BB
Scale: 1:50

Client **Maple Springfield**
Project **14 Great Peter Street**
Drawing Title Existing Section BB
Scale 1:50 / A1 Date Oct 2014 Drawn AL
Job no. **1413** Dwg no. EX/02/02 Rev no. A
BARBARA WEISS ARCHITECTS LTD
SHEPHERD TOWERS, 100 ABBEY ROAD, LONDON EC1A 3DB TEL: 020 7321 4138

Proposed Section BB
Scale: 1/50

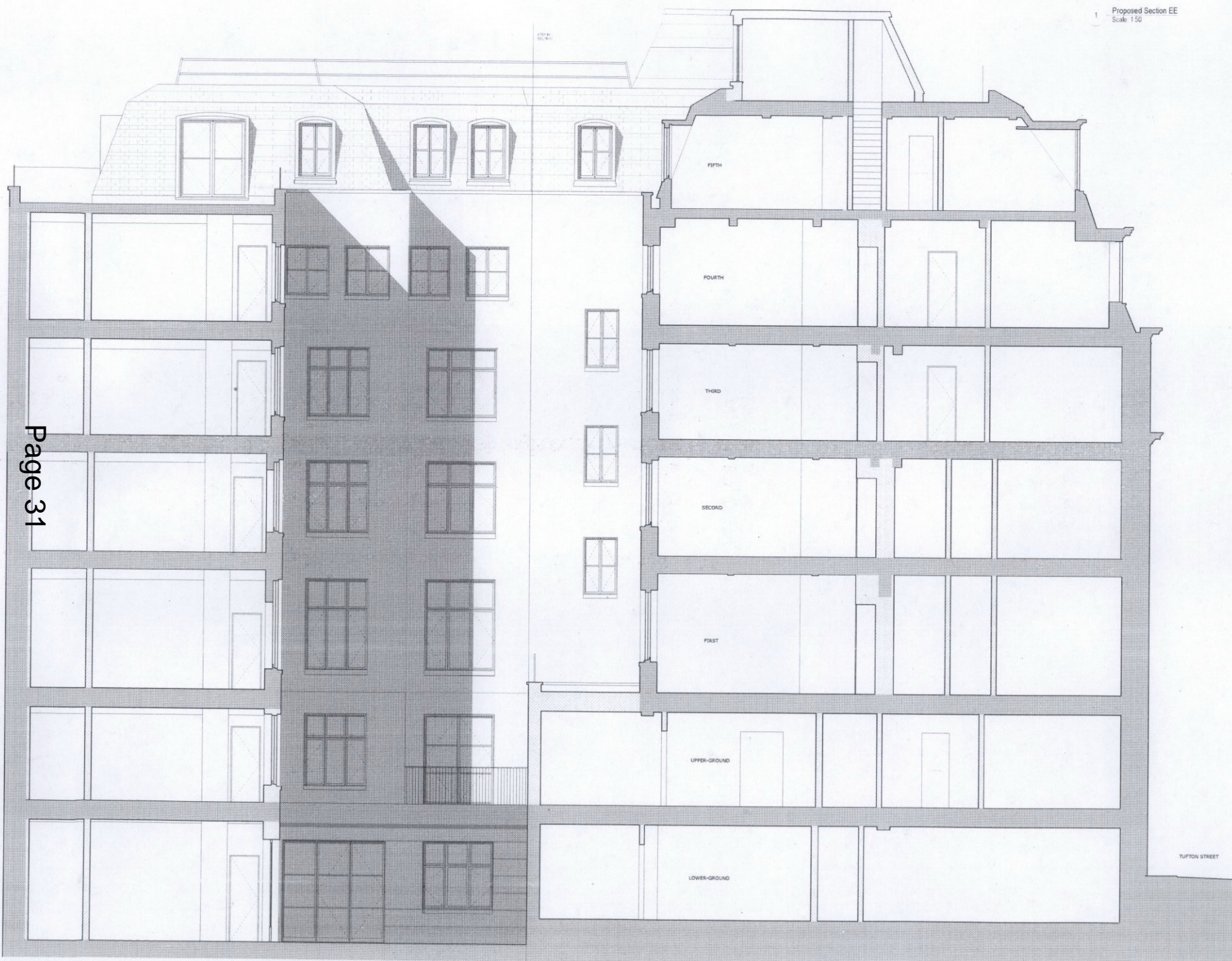
- Notes
1. Do not scale from drawing.
 2. All dimensions in millimetres unless stated otherwise.
 3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.
- Any discrepancy between this and any other documents shall be referred immediately to the architect: 85 GOSWELL AVE.
- Revisions
- | | | |
|---|----------|--------------------------------------|
| A | 30.01.15 | Issued for planning |
| B | 12.05.15 | Panthouse amended and railings added |



1 Proposed Section EE
Scale: 1/50

Notes
 1. Do not scale from drawing.
 2. All dimensions in millimetres unless stated otherwise.
 3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.
 Any discrepancy between this and any other documents shall be referred to the architect at BARBARA WEISS ARCH.

Revisions
 A 30.01.15 Issued for planning
 B 12.05.15 Part-house revised



Page 31

Client **Maple Springfield**
 Project **14 Great Peter Street**
 Drawing Title Proposed Section EE
 Scale 1/50 / A1 Date Oct 2014 Drawn TR
 Job no. **1413** Dwg no. **PL/02/05** Rev no. **B**
BARBARA WEISS ARCHITECTS LTD
BARBARA WEISS ARCHITECTS LTD, 14 GUY'S CLIFF, LONDON, W1A 1AA



1 Existing Elevation 01
Scale: 1/50

Notes
1. Do not scale from drawing.
2. All dimensions in millimetres unless stated otherwise.
3. No deviation may be made from the details shown in this drawing without the prior permission of the architect.
Any discrepancy between this and any other documents shall be referred immediately to the architect, if by CONSULTANT.
Revisions
A 15.10.14 based on information



1 Proposed South Elevation
Scale 1:50

Notes
1. Do not scale from drawing.
2. All dimensions on drawings unless noted otherwise.
3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.
Any discrepancy between this and any other documents shall be referred to and settled by the architect, B+W GROUP A.S.C.

Revisions
A 30.01.15 Issued for planning
B 12.05.15 Parthouse amended

Client **Maple Springfield**
Project **14 Great Peter Street**
Drawing Title Proposed South Elevation
Scale 1:50 / A1 Date Oct 2014 Drawn AL
Job no. **1413** Dwg no. PL(03)01 Rev no. B
BARBARA WEISS ARCHITECTS LTD
WILKINSON TOWER, 25 GUILDFORD LANE, LONDON E11 1JF, UK TEL 020 7322 4133



1 Existing Elevation 02
Scale 1:50

Notes
1. Do not scale from drawing.
2. All dimensions on drawings unless noted otherwise.
3. No deviation may be made from the details shown on this drawing without the prior consent of the architect.
Any discrepancy between this and any other documents shall be referred immediately to the architect at 84 SOUTH AVE.

Revisions
A 15.10.14 Issued for information

Client **Maple Springfield**
Project **14 Great Peter Street**
Drawing Title Existing West Elevation
Scale 1:50 / A1 Date Oct 2014 Drawn AL
Job no. **1413** Dwg no. EX(03)02 Rev no. A
BARBARA WEISS ARCHITECTS LTD
MILBURN TOWER, 100A MILBURN, LONDON, E11 1JF, UK TEL 020 7522 4105



1 Proposed West Elevation
Scale: 1/50

Notes
1. Do not scale from drawing.
2. All dimensions are indicated unless noted otherwise.
3. No deviation may be made from the details shown on this drawing without the prior permission of the architect.
Any discrepancy between this and any other documents shall be referred immediately to the architect, 85 St. James's Place.

Revisions
A 20.01.15 Issued for planning
B 12.05.15 Partitions and railings revised

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Agenda Item 2

Item No.
2

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Report of Director of Planning		Wards involved Lancaster Gate	
Subject of Report	1 Palace Court, London, W2 4LP		
Proposal	Use as six residential flats (Class C3) with associated external alterations including new access to front lightwell from pavement level and erection of rear/side extension to Palace Court elevation between second and fourth floor levels.		
Agent	Treanor Consulting		
On behalf of	PCP 2014 Limited		
Registered Number	15/02865/FULL	TP / PP No	TP/5828
Date of Application	01.04.2015	Date amended/ completed	13.04.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Bayswater		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Grant conditional permission, including a condition to secure car club membership for all of the residential flats for a minimum period of 25 years.





1 PALACE COURT, W2
Page 39

2. SUMMARY

The application site is a late 19th century building facing Bayswater Road. The building is not listed, but is located within the Bayswater Conservation Area. The building is currently vacant, but was most recently in use as holiday apartments let on a short term basis in conjunction with the property at No.5 Palace Court.

Permission is sought for use of the building as six residential flats (Class C3) with associated external alterations including a new access to front lightwell from pavement level and erection of rear/side extension to the Palace Court elevation between second and fourth floor levels.

The key issues in this case are:

- The impact of the proposed development on the appearance of the building and the character and appearance of the Bayswater Conservation Area.
- The impact of the development on the amenity of neighbouring residents.
- The acceptability of the scheme in parking terms.

The proposed development is considered to be acceptable in land use, design and conservation, amenity, environment and transportation terms and would accord with the relevant policies in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (the City Plan). As such, the application is recommended for approval subject to the conditions set out in the draft decision letter.

3. CONSULTATIONS

BAYSWATER RESIDENTS ASSOCIATION

No objection.

ENVIRONMENTAL HEALTH

No objection, subject to conditions relating to noise.

HIGHWAYS PLANNING MANAGER

Objection on transportation grounds. Insufficient parking provision.

ROYAL BOROUGH OF KENSINGTON AND CHELSEA

No objection.

TRANSPORT FOR LONDON (TfL)

Recommend that 11 cycle parking spaces are included.

ARBORICULTURAL MANAGER

No objection.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 57; Total No. of Replies: 2.

Two emails received (one of which was later withdrawn) raising objection on all or some of the following grounds:

Design

- Concerns about the loss of townscape gap.

Amenity

- Loss of privacy due to windows in side elevation.
- Loss of daylight to No. 7 Palace Court.

- Noise disturbance from new mechanical plant at roof level (objection later withdrawn on understanding that this matter is part of the assessment of the planning application and will be controlled by planning conditions).

ADVERTISEMENT/SITE NOTICE: Yes.

4. BACKGROUND INFORMATION

4.1 The Application Site

The application site is part of a group of three buildings facing Bayswater Road which are similar in design and scale. Nos.1 and 5 were until recently used as holiday apartments let on a short term basis (operated by the same business), whilst No. 3 is occupied by the High Commission of Guyana. This group of buildings, whilst known as Nos. 1, 3 and 5 Palace Court, face onto Bayswater Road.

The main entrance and frontage to the building is from Bayswater Road, however, the side elevation of the application site extends along Palace Court. The building comprises a lower ground floor with lightwells, a ground floor and four upper floors. To the rear (visible from the highway in Palace Court) there is a large courtyard at lower ground floor level that was previously used as external amenity space for the occupiers of the holiday apartments.

4.2 Relevant History

There is no relevant planning history for the application site at No.1 Palace Court, however, the permission listed below was recently granted for the conversion of the short term let accommodation at No.5 Palace Court to permanent residential accommodation:

17 February 2015 – Permission granted by the Planning Applications Committee for demolition of the mews building on Ossington Street and erection of a replacement mews building arranged over five floors (basement, lower ground, ground, first and second floors) to create a four bedroom dwellinghouse (Class C3), including part basement extension; refurbishment, adaption, and extension of 5 Palace Court to create six dwelling flats (Class C3); demolition of existing roof enclosure and erection of a mansard roof extension with front gable; external elevation changes including rear infill extensions and enlarged and new window openings (Ossington Street); and other works incidental to the proposals (14/10267/FULL).

5. THE PROPOSAL

Planning permission is sought for the use of the building as six residential flats (Class C3) with associated external alterations including new access to front lightwell from pavement level and erection of rear/side extension to the Palace Court elevation between second and fourth floor levels. The mix of residential units proposed comprises 1x1 bedroom flat, 4x2 bedroom flat and 1x3 bedroom flat.

6. DETAILED CONSIDERATIONS

6.1 Land Use

6.1.1 Loss of Existing Visitor Accommodation

The principle of loss of the existing visitor accommodation use to residential use needs to be considered in light of Policy TACE1 in the UDP and Policy S23 in the City Plan. Policy TACE 1

states that outside of designated special policy areas, such as this, in areas of overconcentration of hotels/other visitor accommodation such as Bayswater, the conversion of visitor accommodation to housing, where the existing hotels cause adverse effects on residential amenity, will be encouraged. Policy S23 takes a slightly different approach in so far as it states that existing hotels will be protected where they do not have significant adverse effects on residential amenity. It goes on to state that in areas such as Bayswater where an existing hotel is not purpose built and where it adversely effects residential amenity, a change of use to residential will be encouraged.

The previous use of the premises comprised the short term letting of studio apartments within the building as holiday accommodation. It is apparent that the building was built to provide residential accommodation, most probably as a single dwellinghouse.

The current visitor accommodation provided within the building is of poor quality and is not purpose built. In this context, it is not considered the loss of the existing use would have a significant impact on the overall provision of hotel/visitor accommodation within the Bayswater area. Whilst there is no decisive evidence that the previous use of the application site as studio units let on a short term basis has resulted in adverse impact on surrounding residents, it is accepted that it would have had a high turnover of guests, creating a transient population, which can have an adverse impact on residential amenity. On this basis, it is considered that the loss of the existing visitor accommodation, which is not purpose built, is acceptable in this case.

6.1.2 Proposed Residential Use

Given that no objection is raised to the loss of the hotel, the principle of residential use is acceptable in land use terms and would be in accordance with Policy H3 in the UDP and Policy S14 in the City Plan.

The proposal seeks to create six new residential units comprising of 1x1 bed, 4x2 bed and 1x3 bedroom units within the extended building. This provision of 17% family sized accommodation is not consistent with Policy H5 in the UDP, which seeks 33% of new residential units as three bedroom units or larger. The applicant advises that it is not possible to provide another three bed unit without compromising the layout (the nature of the floorplates are such that only one unit can be realistically accommodated per level, with two duplex apartments - 1x1 bed and 1x3 bed – being created on the lower ground and ground floor level). Whilst the relative lack of family-sized units is regrettable, it is considered that on balance that the scheme is acceptable in this regard, taking into account the applicant's justification and the need to meet the Mayor of London's minimum space standards. All the proposed units will meet the minimum London Plan size standards. External amenity space will be provided for one of the units by utilisation of the existing yard area at lower ground floor level.

The proposal would not result in the creation of more than 1,000m² (GEA) of residential floorspace and as such, the provision of affordable housing is not required.

6.2 Townscape and Design

The existing building is an attractive late 19th century terraced property at the corner of Bayswater Road and Palace Court. To the Bayswater Road frontage it forms part of a run of three properties of matching design. The principal street elevation of the building is towards Bayswater Road and the park beyond, with Palace Court as a side elevation, though still with a considered design and good degree of decorative interest.

An objection has been raised regarding the loss of the townscape gap between the existing building and the long continuous terrace to the north, as a result of this extension. In respect of this gap, the building presents a largely blank elevation towards the gap with only relatively unattractive windows punched into the brickwork with little or no elaboration, despite this being a very public elevation which is readily visible in public views from Palace Court. There is also a view beyond to an unattractive rear extension and a fire escape. Therefore, whilst gaps in the townscape can be of some importance in conservation areas, in this case the gap is not considered to be of particular significance, and is not in any case being fully infilled as the extension proposed only steps out as far as the existing rear extension to the building between lower ground and first floor levels. It will also significantly improve the appearance of the rear of the application site and as such, the principle is considered acceptable. The extension will retain a subsidiary appearance given the step down in height from the main building, and the subtle diminution of the decorative scheme found on the original building. The detailed design of the proposed extension is considered acceptable, and would harmonise well with the existing main building, whilst also sitting comfortably within the street scene.

Conditions are recommended to ensure that the detailed design of the extension, the brickwork, windows and other detailing depicted in this application reflect that of the host building. The proposals are therefore considered to accord with Policies S25 and S28 in the City Plan and DES 1, DES 5, DES 6 and DES 9 in the UDP.

6.3 Amenity

The additional bulk of the proposed extension on the side elevation would have an impact on neighbouring properties at No.7 Palace Court, No.3 Palace Court and No.2a Ossington Street directly to the rear of the premises.

The proposal would be directly visible from flats within No.7 Palace Court. At lower ground floor level there is an existing residential unit which has a single aspect and faces out directly on to the existing yard between Nos. 1 and 7 Palace Court. This residential unit already has very poor levels of natural light and is heavily enclosed. As such, the provision of the extension from first to fourth floor level as proposed would not result in a materially worse situation than that which exists at present. This is reflected in the conclusions of the applicant's daylight and sunlight report. It is noted that under the proposed plans the existing yard area at basement area between the application site and No.7 Palace Court is to be converted to a private garden for the lower ground floor flat. The existing basement flat at No.7 Palace Court will overlook this garden area and a condition is recommended preventing future occupiers of the new lower ground floor flat within the development from enclosing these windows in a way that would block out light to the neighbouring basement flat. Subject to the recommended condition, the impact of the proposed development on these neighbouring windows is not considered to warrant withholding permission.

At first floor level at No.7 Palace Court there is a roof terrace that serves the first floor flat. The terrace in question would be affected by the additional bulk proposed to the rear of the application site to form the extension between first to fourth floor levels. However, whilst the terrace would be slightly more overshadowed than at present, the loss of daylight and sunlight that the terrace would suffer would not be so significant as to justify withholding permission. In terms of outlook, the terrace would retain an open outlook along Palace Court towards the Bayswater Road and the additional sense of enclosure and loss of light created by the proposed development is not considered to be material.

Other windows in the side elevation of No.7 Palace Court would experience a small loss of light, but given that there are other windows serving these flats, which would remain

unaffected by the proposed development, such a loss would not be considered a sustainable ground to refuse permission.

A condition is recommended that requires the first to third floor windows on the rear elevation of the proposed extension to be obscure glazed and fixed shut to their lower half, so as to prevent overlooking from these new windows to the windows and roof terrace to the side elevation of No.7 Palace Court.

No. 3 Palace Court is occupied by the Guyana High Commission. The rear extension would be visible from the upper rear floors of this property and would result in a slightly enclosed outlook from the top floor rear window. Additionally, a window from this building that faces in to the enclosed lightwell between the application site and No.7 Palace Court would also experience a small loss of light and reduced levels of sunlight. These losses have both been assessed as being acceptable in respect of the BRE guidelines in the applicant's daylight and sunlight study. Given that the building in question otherwise has many windows and experiences good levels of daylight and sunlight, the impact on the windows in question in this building are not considered material in planning terms.

The extension would also result in a minor loss of light to a window in the side elevation of No.2a Ossington Street. The applicant's daylight and sunlight report assesses the impact on this window and concludes that the loss of daylight and sunlight would not be material and would fall within the acceptable limits set out in the BRE guidelines.

The proposals involve the installation of new mechanical plant at roof level on the application site. Environmental Health consider that the applicant has demonstrated that the plant proposed is acceptable in principle and can comply with the City Council's standard noise and vibration conditions. A supplementary acoustic report relating to the plant is required once the specification of the mechanical plant has been finalised. This is to be secured by condition.

Subject to the conditions set out in this section of the report, the application is considered to accord with Policies S29 and S32 in the City Plan and Policies ENV6, ENV7 and ENV13 in the UDP.

6.4 Transportation/Parking

6.4.1 Parking

Policy TRANS23 in the UDP seeks a maximum of one parking space per residential unit. The scheme does not include off-street parking as there is no scope to provide off-street parking provision on-site owing to the arrangement of the site. The Highways Planning Manager advises that, on the basis of the most recent parking surveys, on-street parking stress in the area is above the 80% threshold set out in Policy TRANS23 and as such, any additional residential units without parking or adequate mitigation should be resisted. The occupancy levels for on-street parking are currently 88% overnight (reducing to 79% using single yellow lines) and 87% by day.

In lieu of off-street parking the applicant proposes the provision of lifetime (25 years) car club membership for each of the residential units. Whilst the lack of car parking is regrettable, given the location of the site and the physical impossibility of providing parking on site, it is considered that the applicant's offer of lifetime car club membership is acceptable in this case. A condition is recommended to secure the submission of appropriate arrangements to secure the car club memberships for future occupiers of the development.

Cycle storage is proposed at lower ground floor level and this would provide secure cycle

storage for eight cycles. This is sufficient to accord with Policy TRANS10 in the UDP. Whilst this level of cycle parking is lower than the London Plan standard, given that the scheme represents a conversion of an existing building and not a new build development, this is acceptable in this case. A condition is recommended to ensure the cycle parking is provided and thereafter retained.

Waste and recycle storage is shown within the side lightwell facing Palace Court and a condition is recommended to ensure its provision and retention.

The Highways Planning Manager has expressed concerns regarding possible alterations to the vaults facing Palace Court. Policy TRANS19 in the UDP requires a minimum vertical depth below the footway or carriageway of 900mm and that the extent of the new or extended basement area does not encroach more than about 1.8m under any part of the adjacent highway. Given the limited detail provided on this part of the application, a condition is recommended requiring the submission of detailed drawings by the applicant demonstrating the criteria set out in Policy TRANS19 are met.

6.5 Economic Considerations

Whilst it is recognised that the proposal will result in the loss of an employment generating use, the proposed residential conversion will also generate economic benefits.

6.6 Equalities and Diversities (including disabled access)

There are four steps up to the main entrance of the building from Bayswater Road and as such, it is difficult to provide level access without impacting on the character and appearance of the building. The lift proposed within the building will assist in facilitating disabled access to the units created by this development.

6.7 Other UDP/Westminster Policy Considerations

Environmental Health advise that further details of new glazing and ventilation are required to ensure that the new residential accommodation is adequately insulated from road noise emanating from Bayswater Road. A condition is recommended to secure these details.

6.8 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. The relevant policies in the City Plan which has replaced the Core Strategy have been discussed in this report and other

policies in the previous report have not changed significantly. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

On 6 April 2010 the Community Infrastructure Levy (CIL) Regulations came into force which make it unlawful for a planning obligation to be taken into account as a reason for granting planning permission for a development, or any part of a development, whether there is a local CIL in operation or not, if the obligation does not meet all of the following three tests:

- (a) necessary to make the development acceptable in planning terms;
- (b) directly related to the development;
- (c) fairly and reasonably related in scale and kind to the development.

Policy S33 of the City Plan relates to planning obligations. It states that the Council will require mitigation of the directly related impacts of the development; ensure the development complies with policy requirements within the development plan; and if appropriate, seek contributions for supporting infrastructure. Planning obligations and any Community Infrastructure Levy contributions will be sought at a level that ensures that the overall delivery of appropriate development is not compromised.

The City Council's Planning Obligations Supplementary Planning Guidance (SPG) sets out in detail the scope and nature of obligations to which certain types of development will be typically subject.

As outlined in Section 6.4 of the report, appropriate arrangements under S106 of the Town and Country Planning Act 1990 (as amended) would be required to cover the following:

- Lifetime (25 years) car club membership for each of the residential flats.

In this case, it is considered appropriate to deal with these matters by condition.

The proposed development is also liable for a Mayoral CIL payment and an Informative is recommended accordingly.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

6.11.1 Sustainability

The applicant has submitted an energy strategy setting out the measures incorporated into the proposed development in the context of sustainable design principles. Measures include low energy lighting, materials sourced to an A or A+ rating under the green guide to housing, finishings and paints with low VOC levels. A BREEAM Domestic Refurbishment Pre-Assessment report has been undertaken with regard to the conversion of the main building and this indicates that a rating of 'Excellent' (with a score of 75.05%) could be achieved.

The proposal is considered to meet the objectives of the relevant policy framework on sustainability including Policy 5.2 of the London Plan and Policy S28 of the City Plan.

The proposed extension will necessitate works to trees in close proximity to the site. The applicant has provided an arboricultural statement setting out tree protection measures and a condition has been added requiring compliance with these measures. As such, the application is considered to comply with Policy S38 in the City Plan and Policies DES1 (A), ENV 16 and ENV 17 in the UDP.

6.12 Other Issues

None relevant.

7. CONCLUSION

The proposed development is considered to be acceptable in land use, design and conservation, amenity, environment and transportation terms and would accord with the relevant policies in the UDP and the City Plan. As such, the application is recommended for approval subject to the conditions set out in the draft decision letter.

BACKGROUND PAPERS

1. Application form.
2. Letter from the Bayswater Residents Association dated 20 May 2015.
3. Memo from Environmental Health dated 20 April 2015.
4. Memo from the Highways Planning Manager dated 21 April 2015.
5. Letter from the Royal Borough of Kensington and Chelsea dated 23 April 2015.
6. Email from Transport for London dated 28 April 2015.
7. Memo from the Arboricultural Manager dated 31 May 2015.
8. Emails from the occupier of 7E Palace Court dated 3 May 2015 and 30 June 2015.
9. Email from the occupier of 7D Palace Court dated 4 May 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT OLIVER GIBSON ON 020 7641 2680 OR BY E-MAIL – ogibson@westminster.gov.uk

DRAFT DECISION LETTER

- Address:** 1 Palace Court, London, W2 4LP
- Proposal:** Use as six residential flats (Class C3) with associated external alterations including new access to front lightwell from pavement level and erection of rear/ side extension to Palace Court elevation between second and fourth floor levels.
- Plan Nos:** 201_S_00; 201_EX-1 rev P1, 201_EX_00 rev P1; 201_EX_01 rev P1, 201_EX_02 rev P1, 201_EX_03 rev P1, 201_EX_04 rev P2, 201_EX_05 rev P1; 201_EE_00 rev P1, 201_EE_01 rev P1, 201_EE_02 rev P1, 201_EE_03 rev P1, 201_ES_01 rev P1, 201_ES_00 rev P1, 201_GA_-1, 201_GA_00 rev P2, 201_GA_01 rev P2, 201_GA_02 rev P2, 201_GA_03 rev P2, 201_GA_04 rev P2, 201_GA_05 rev P2, 201_GE_01 rev P2, 201_GE_02 rev P2, 2-1_GE_03 rev P2, 201_GS_02 rev P1. Transport Statement by Crowd Dynamics dated February 2015, Noise survey report by Hilson Moran dated 9 March 2015, Air Quality Assessment by White Young Green dated March 2015, Sustainability Statement by AJ Energy consultants limited dated March 2015, Energy Strategy by AJ Energy consultants limited dated March 2015, Arbroicultural report by ACS consulting dated 10 April 2015.

Case Officer: Neil Holdsworth

Direct Tel. No. 020 7641 5018

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 3 The new brickwork to the external faces of the new extension shall match the existing original brickwork to the existing building in terms of colour, texture, face bond and pointing.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The pitched roof slopes of the top floor of the extension hereby approved shall be clad in natural slates, and the dormers within the top floor of the extension shall be faced in lead to sides, cheeks and roofs

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 The frames of the new windows hereby approved shall be constructed in white painted timber and shall be maintained in that material and colour.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 6 You must apply to us for approval of detailed section drawings showing the relationship of the new windows to the window openings, and the relationship of the glazing bars to the glazing. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 The new external metalwork including metal staircase to lightwell shall be formed in black painted metal, and shall be retained in that colour thereafter.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 8 You must apply to us for approval of detailed elevation drawings showing any changes to the gate set within the railings, or railings adjacent, fronting onto the Palace Court frontage of the building, including details of any removal or relocation of the decorative piers flanking the existing gate. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 9 Notwithstanding the changes shown between the submitted existing and proposed drawings, the existing pilasters to the Bayswater Road and Palace Court elevations of the existing building shall be retained in-situ and shall not be altered.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 10 You must not enclose or cover the windows of the adjoining lower ground floor property at 7 Palace Court which face in to the courtyard area between 1 Palace Court and 7 Palace Court at any time.

Reason:

To protect the environment of people in this neighbouring property. This is as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 11 The glass that you put in the lower half of the windows at first, second and third floors in the rear (north facing) elevation of the building must not be clear glass, and you must fix the lower half of these windows permanently shut. You must apply to us for approval of a sample of the glass (at least 300mm square). You must not start work on the relevant part of the development

until we have approved the sample. You must then fit the type of glass we have approved and must not change it without our permission. (C21DB)

Reason:

To protect the privacy and environment of people in neighbouring properties, as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21AC)

12 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the privacy and environment of people in neighbouring properties, as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21AC)

13 You must provide the waste store shown on drawing 201_GA_-1 Rev.P1 before anyone moves into the property. You must clearly mark it and make it available at all times to everyone using the residential flats. You must store waste inside the property and only put it outside just before it is going to be collected. You must not use the waste store for any other purpose. (C14DC)

Reason:

To protect the environment and provide suitable storage for waste as set out in S44 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 12 of our Unitary Development Plan that we adopted in January 2007. (R14BD)

14 You must provide each cycle parking space shown on the approved drawings prior to occupation. Thereafter the cycle spaces must be retained and the space used for no other purpose without the prior written consent of the local planning authority.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

15 You must not start work on the site until we have approved appropriate arrangements to secure the following.

- At least one lifetime (25 years) car club membership for each of the residential flats.

In the case of each of the above benefits, you must include in the arrangements details of when you will provide the benefits, and how you will guarantee this timing. You must only carry out the development according to the approved arrangements. (C19AB)

Reason:

To make sure that the development provides the planning benefits that have been agreed, as set out in S33 of Westminster's City Plan: Strategic Policies adopted November 2013 and in SRTRA25 and TRANS23 of our Unitary Development Plan that we adopted in January 2007. (R19AC)

- 16 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.
- (3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:
- (a) A schedule of all plant and equipment that formed part of this application;
 - (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
 - (c) Manufacturer specifications of sound emissions in octave or third octave detail;
 - (d) The location of most affected noise sensitive receptor location and the most affected window of it;
 - (e) Distances between plant & equipment and receptor location/s and any mitigating features

that may attenuate the sound level received at the most affected receptor location;

(f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;

(g) The lowest existing L A90, 15 mins measurement recorded under (f) above;

(h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;

(i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 17 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 18 The design and structure of the development shall be of such a standard that it will protect residents within it from existing external noise so that they are not exposed to levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 19 You must apply to us for approval of details of a supplementary acoustic report demonstrating that the plant will comply with the Council's noise criteria as set out in Condition of this

permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 20 You must apply to us for approval of sound insulation measures and a Noise Assessment Report to demonstrate that the residential units will comply with the Council's noise criteria set out in Condition 18 of this permission. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to the details approved before the residential units are occupied and thereafter retain and maintain.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 21 You must apply to us for approval of detailed drawings of the following parts of the development:

- Detailed drawings of alterations to the vaults facing Palace Court, including section drawings showing the relationship between the altered vaults beneath Palace Court and the public highway above.

You must not start work until we have approved what you have sent us. You must then carry out the work according to the details approved under this condition.

Reason:

In the interests of public safety and to ensure that a sufficient depth of pavement is maintained above the Vaults as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2, TRANS 3 and TRANS 19 of our Unitary Development Plan that we adopted in January 2007. (R2

- 22 You must implement this planning permission in accordance with the tree protection measures

set out in the Tree Protection and Management Statement by ACS Consulting dated 10 April 2015.




Reason:

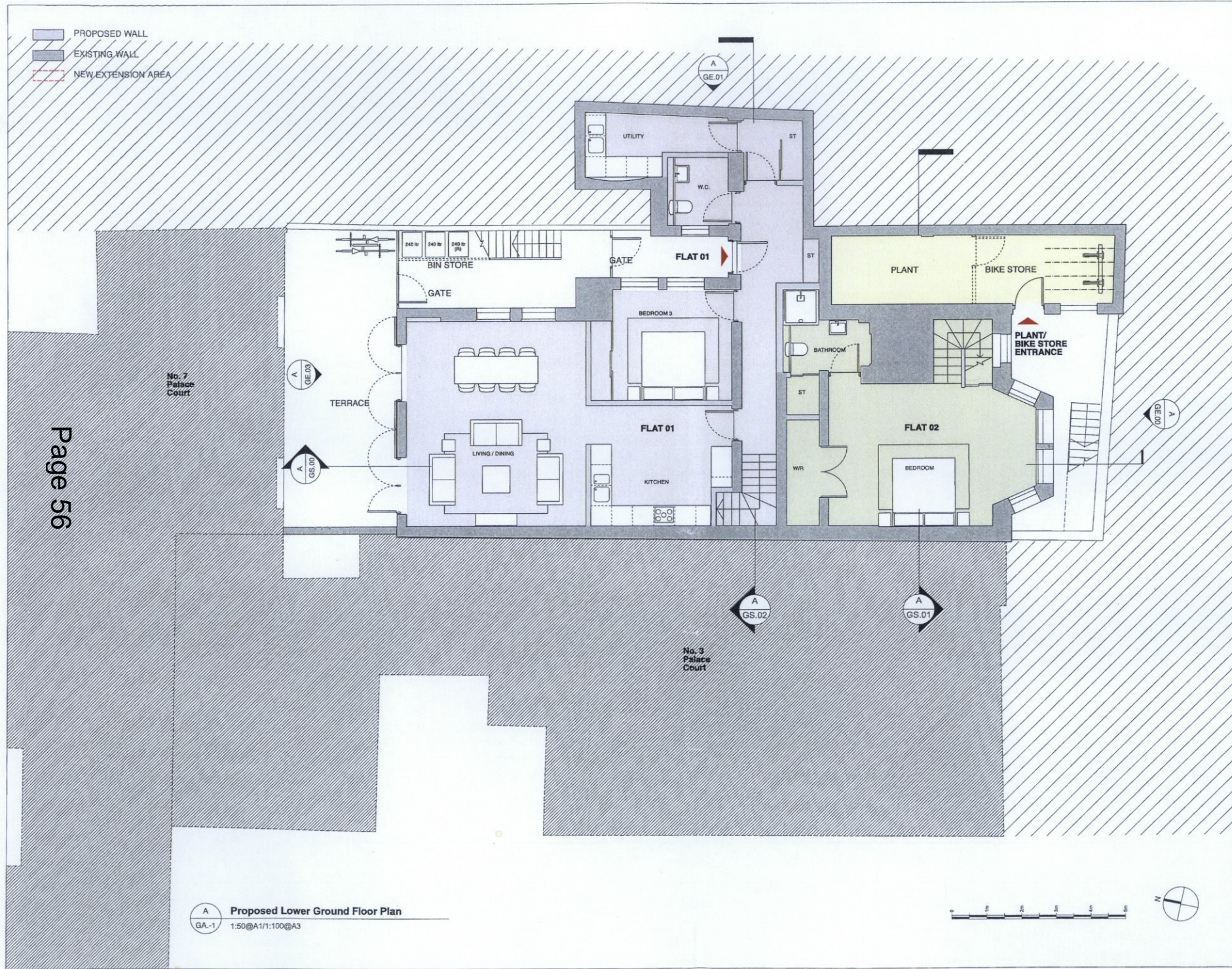
To make sure that the trees on the site are adequately protected during building works. This is as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 (A), ENV 16 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R31AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 In respect of Condition 21, You are advised that TRANS19 of our adopted Unitary Development Plan restricts the lateral and vertical extent of new or extended basement areas under the adjacent highway so that there remains a minimum vertical depth below the footway or carriageway of about 900 mm. If you are proposing to alter the height of the vaults in question, you must ensure that 900 mm is retained and this must be reflected in the information you submit to discharge this condition.

-  PROPOSED WALL
-  EXISTING WALL
-  NEW EXTENSION AREA



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Notes

P1 300315 issued for planning

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Project
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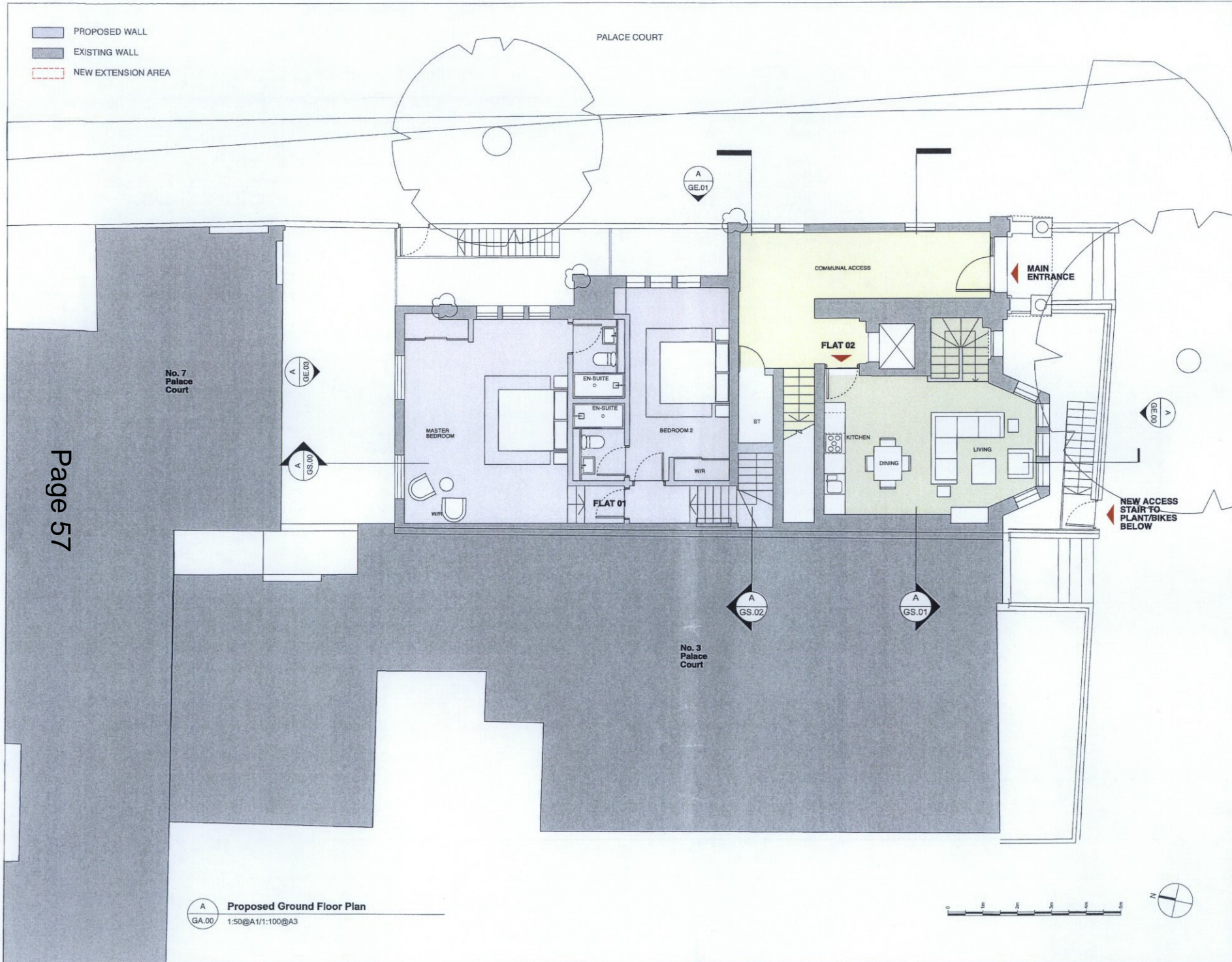
Drawing Title
 Proposed Floor Plan
 Lower Ground Floor

Issue Information	Issue MC	Checked PD
Scale 1:50@A1/1:100@A3	Date Feb 2015	
Drawn No. 201_GA_1	Revision P1	

A
 GA-1 Proposed Lower Ground Floor Plan
 1:50@A1/1:100@A3

- PROPOSED WALL
- EXISTING WALL
- NEW EXTENSION AREA

PALACE COURT



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Notes

P2 11/05/15 Revisions as shown
 P1 30/03/15 issued for planning

Revisions



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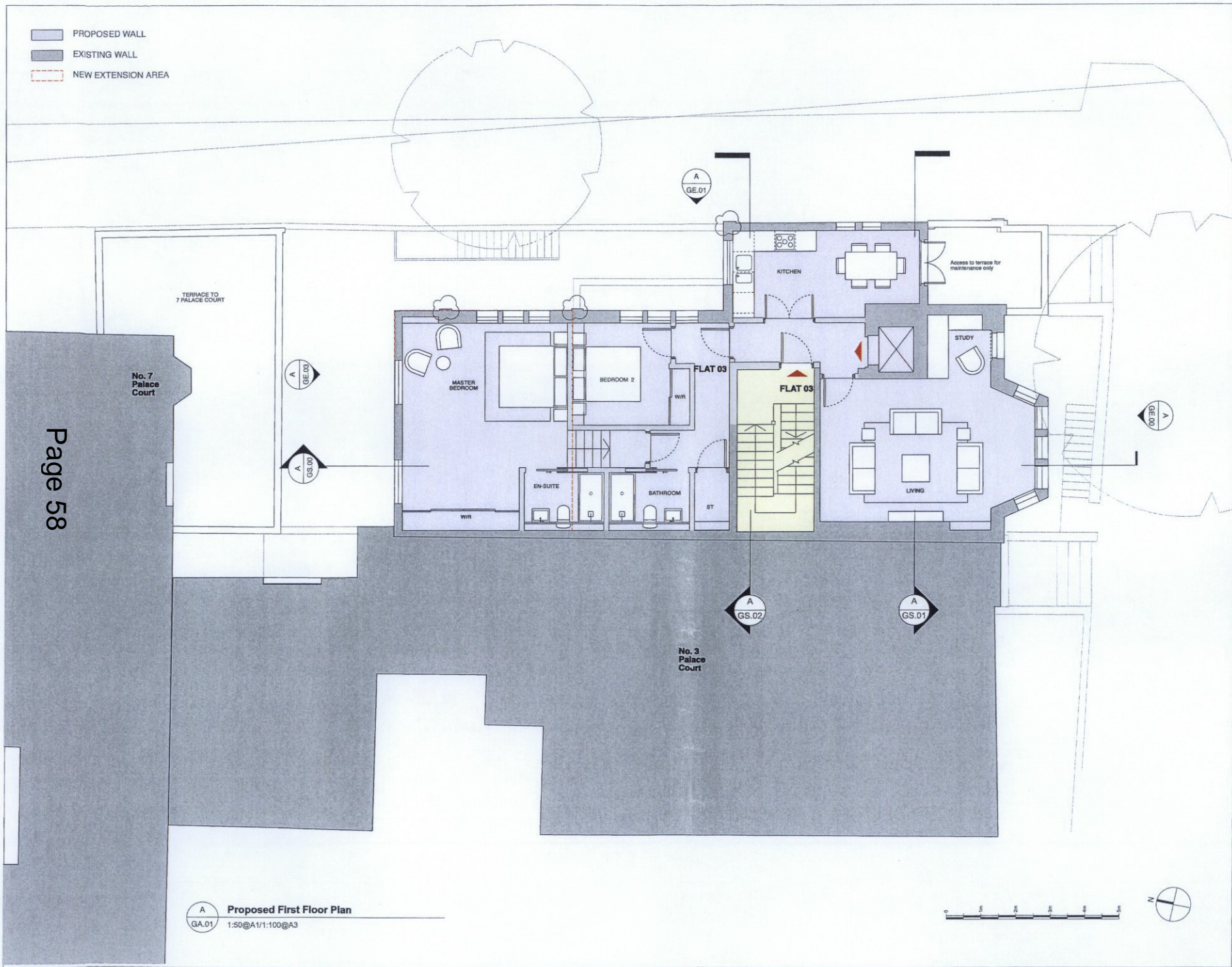
Drawing Title
 Proposed Floor Plan
 Ground Floor

Status	Information	Drawn	Checked
Scale	1:50@A1/1:100@A3	MC	RD
Date	Feb 2015		
Dwg. No.	201_GA_00	Revision	P2

Proposed Ground Floor Plan
 GA.00 1:50@A1/1:100@A3



- PROPOSED WALL
- EXISTING WALL
- NEW EXTENSION AREA



A
GA.01 **Proposed First Floor Plan**
1:50@A1/1:100@A3

Page 58

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Notes

P1	11/02/15	Revisions as shown
P2	30/02/15	Issues for planning

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Client

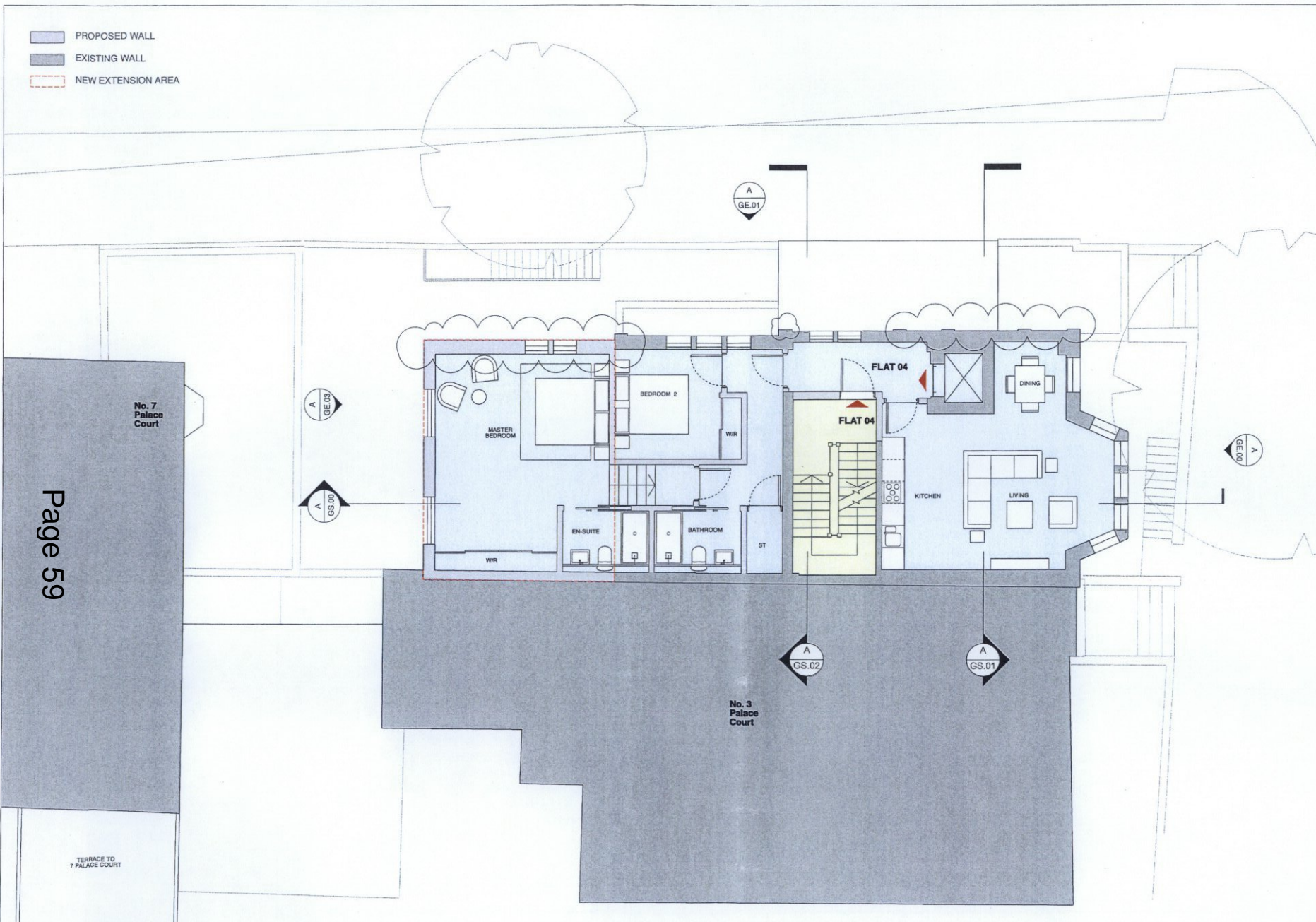
Project
1 Palace Court
London W2 4LP

Drawing Title
Proposed Floor Plan
First Floor

Issue	Information	Drawn	Checked
Issue	1:50@A1/1:100@A3	MC	RD
Date	Feb 2015		

Drawn No: **201_GA_01** Revision: **P2**

- PROPOSED WALL
- EXISTING WALL
- NEW EXTENSION AREA



A
GA.02 **Proposed Second Floor Plan**
1:50@A1/1:100@A3

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P2 15/06/15 Handover as situated
P1 30/03/15 Issued for planning

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Project
1 Palace Court
London W2 4LP

Drawing Title
Proposed Floor Plan
Second Floor

Issue Information	Drawn	Checked	RD
Scale: 1:50@A1/1:100@A3	MC	RD	RD
Drawn No: 201_GA_02			Feb 2015
			Revision P2

- PROPOSED WALL
- EXISTING WALL
- NEW EXTENSION AREA

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Notes

P2 11/05/15 Revisions as shown
 P1 30/03/15 Issued to planning

Revisions

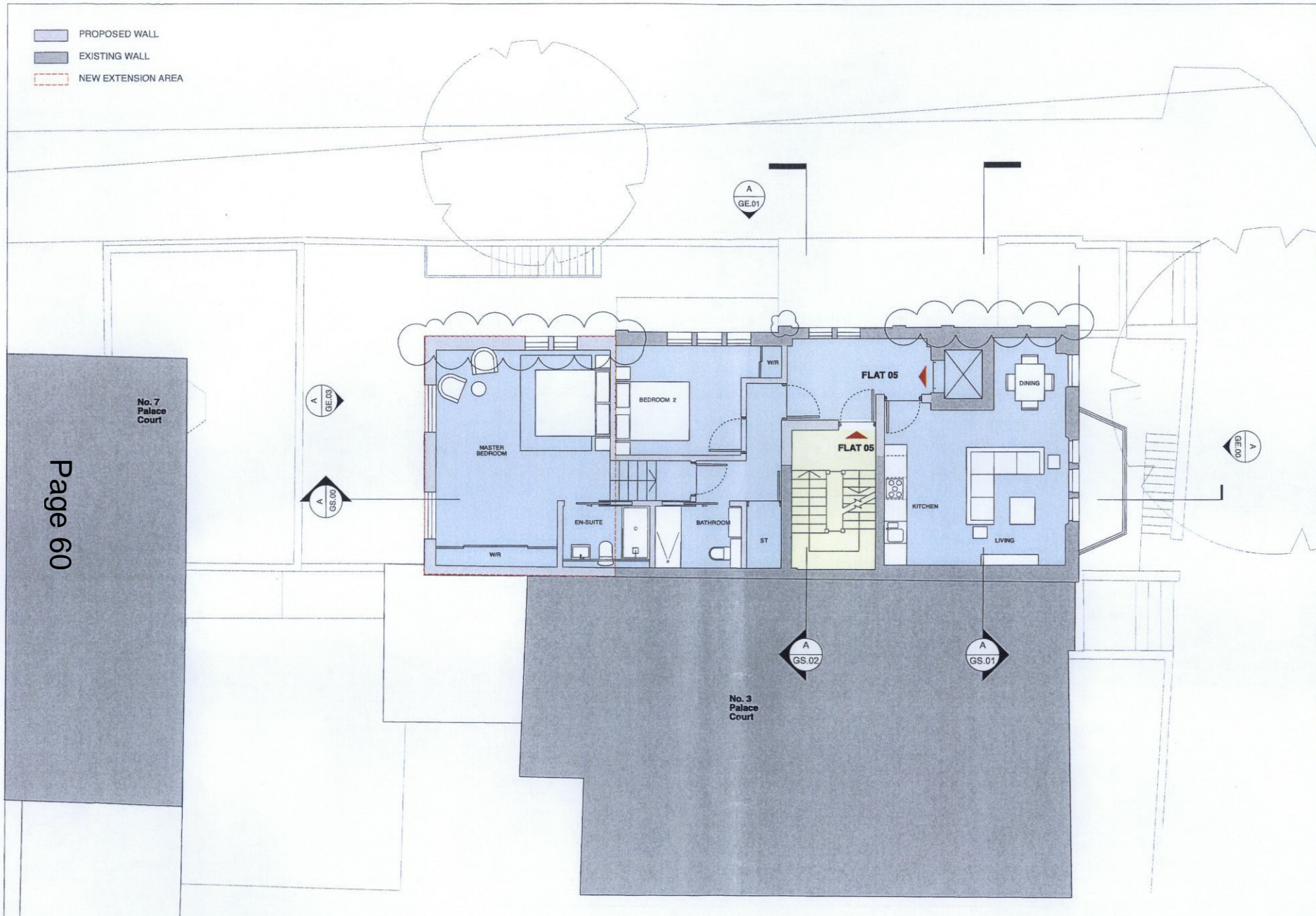
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Client
 Project
 1 Palace Court
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Drawing Title
 Proposed Floor Plan
 Third Floor

Status	Information	Drawn	Checked
Scale	1:50@A1/1:100@A3	MC	RD
Date	Feb 2015		
Dwg. No.	201_GA_03	Revision	P2

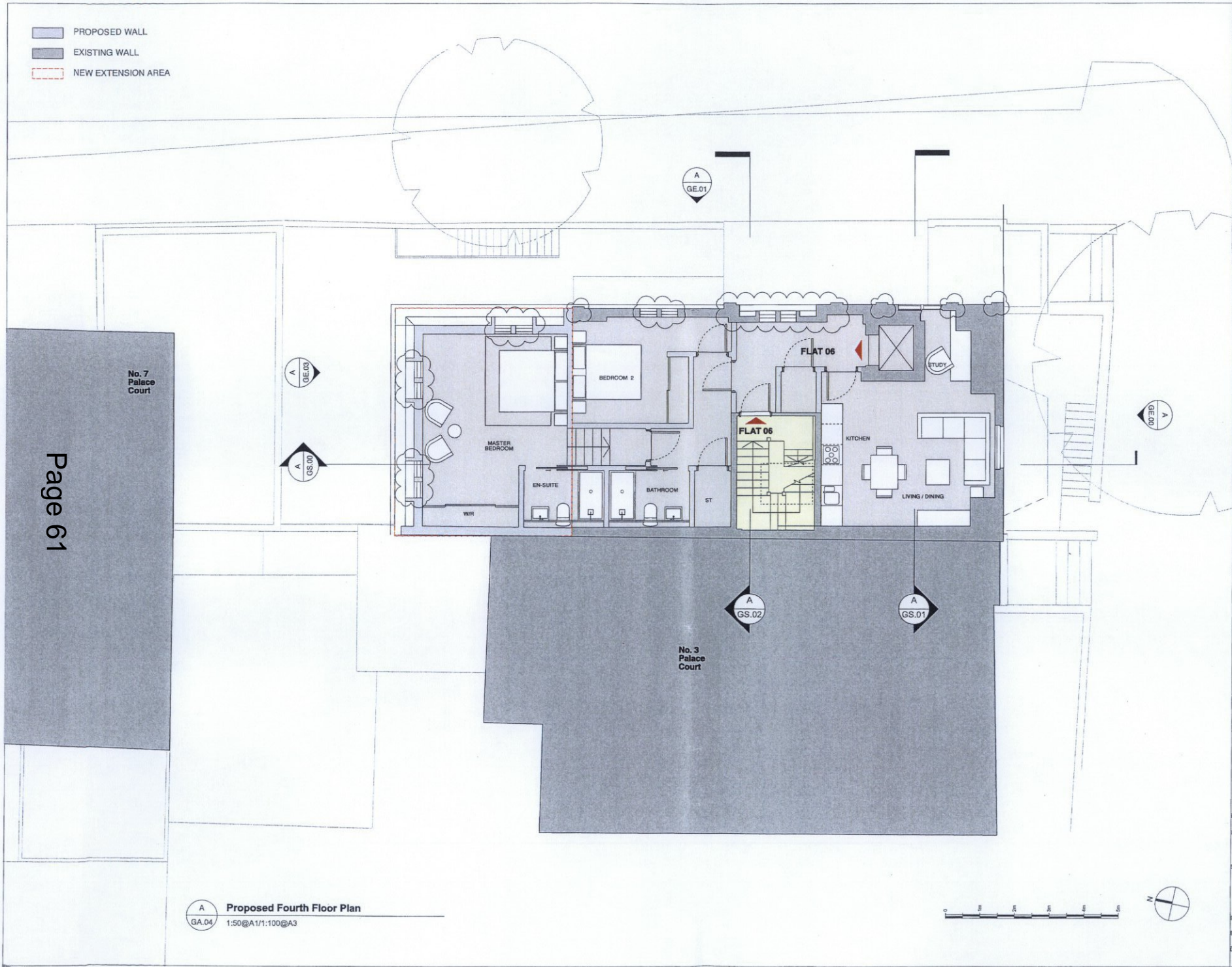
Page 60



Proposed Third Floor Plan
 GA.03 1:50@A1/1:100@A3



- PROPOSED WALL
- EXISTING WALL
- NEW EXTENSION AREA



Page 61

Proposed Fourth Floor Plan
 GA.04 1:50@A1/1:100@A3

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Notes

P2	11/03/15	Revisions as attached
P1	30/03/15	Issued to planning

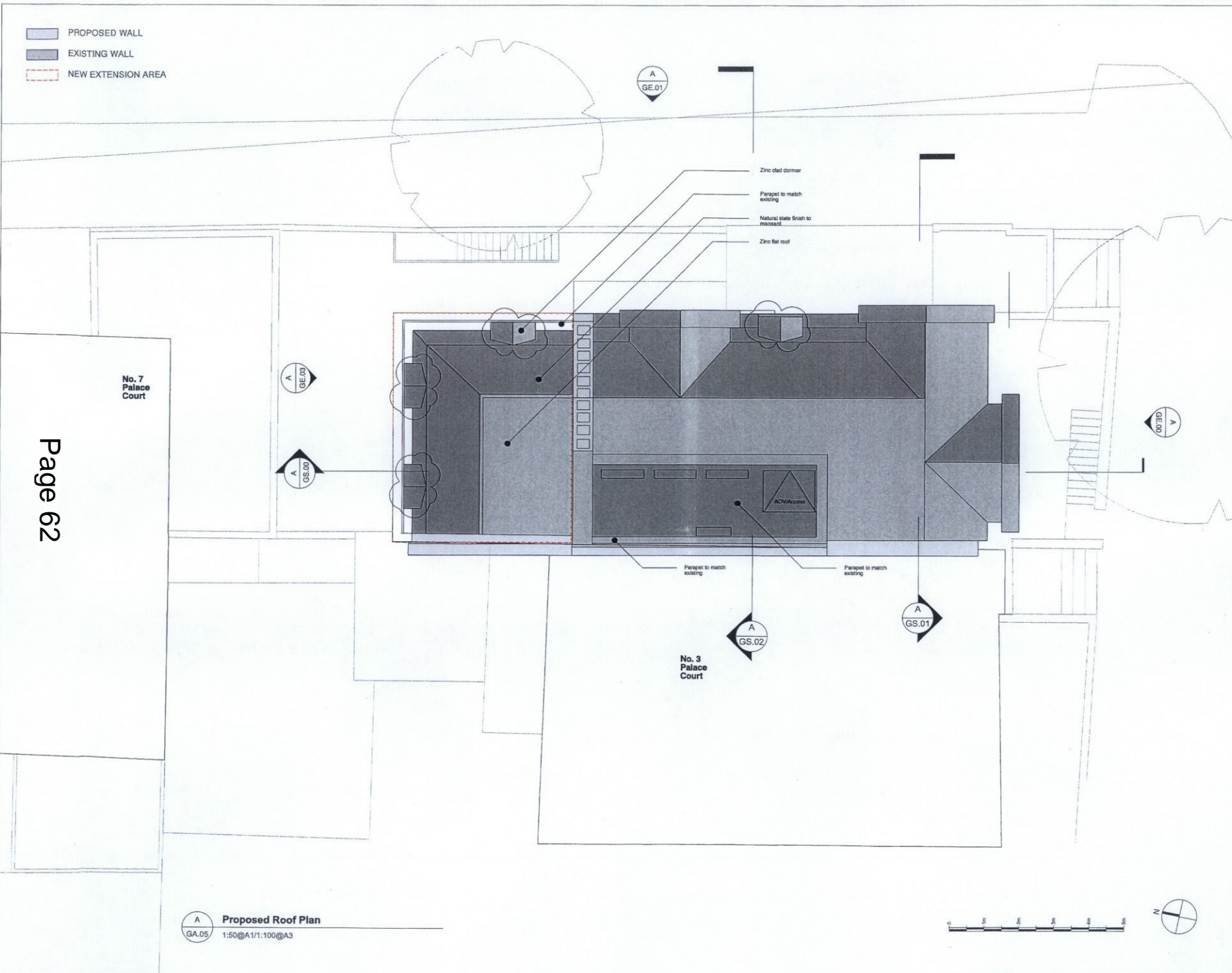
Client	
Project	1 Palace Court London W2 4LP
Drawing Title	Proposed Floor Plan Fourth Floor



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Scale	Information	Drawn	Checked
1:50@A1/1:100@A3		MC	RD
Drawn No.	Revision	Date	
201_GA_04	P2	Feb 2015	

- PROPOSED WALL
- EXISTING WALL
- NEW EXTENSION AREA



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P2	11/05/15	Revisions as circled
P1	30/03/15	Issued for planning

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Client:
 Project:
 1 Palace Court
 London W2 4LP

Drawing Title:
 Proposed Floor Plan
 Roof Plan

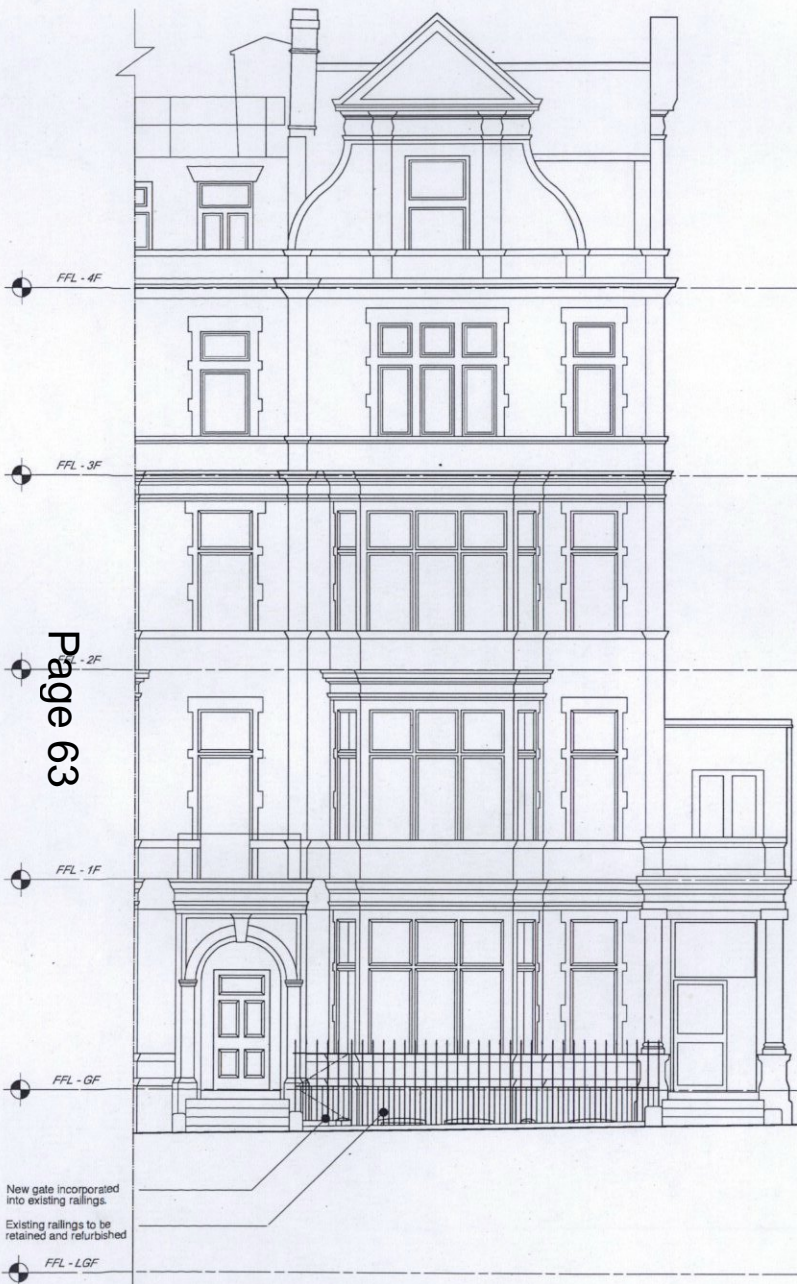
Status:	Information	Drawn:	MC	Checked:	RD
Scale:	1:50@A1/1:100@A3	Date:	Feb 2015		
Dwg. No.:	201_GA_05	Revision:	P2		

Proposed Roof Plan
 GA.05 1:50@A1/1:100@A3



Page 62

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All existing windows to be replaced with traditional sash windows painted white
Existing brickwork to be cleaned

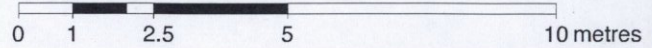
Proposed new stair to access plant and bike store at lower ground floor level

Page 63

New gate incorporated into existing railings.
Existing railings to be retained and refurbished

A Proposed Bayswater Road Elevation
GE.00 1:50@A1/1:100@A3

B Proposed Bayswater Road Lower Ground Elevation
GE.00 1:50@A1/1:100@A3



P1 200315 Issued to planning

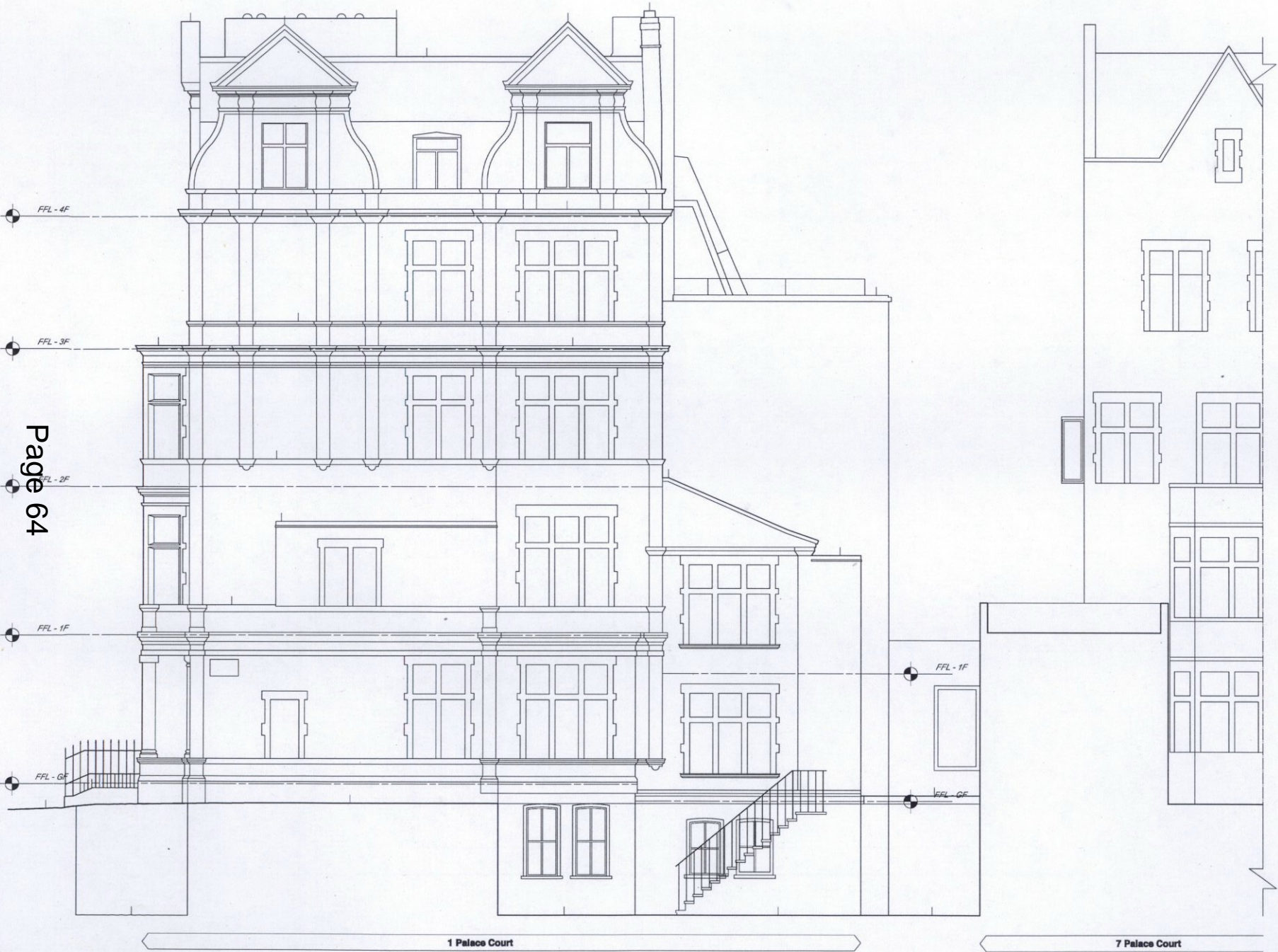


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Client
1 Palace Court
London W2 4LP
Drawing Title
Proposed Front Elevation

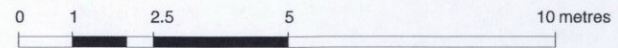
Scale	Drawn	Checked	Date
1:50@A1/1:100@A3	MC	RD	Feb 2014
Dwg. No.	Revision		
201_GE_00	P1		

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Page 64

A Existing Palace Court Lower Ground Elevation
 EE.02 1:50@A1/1:100@A3



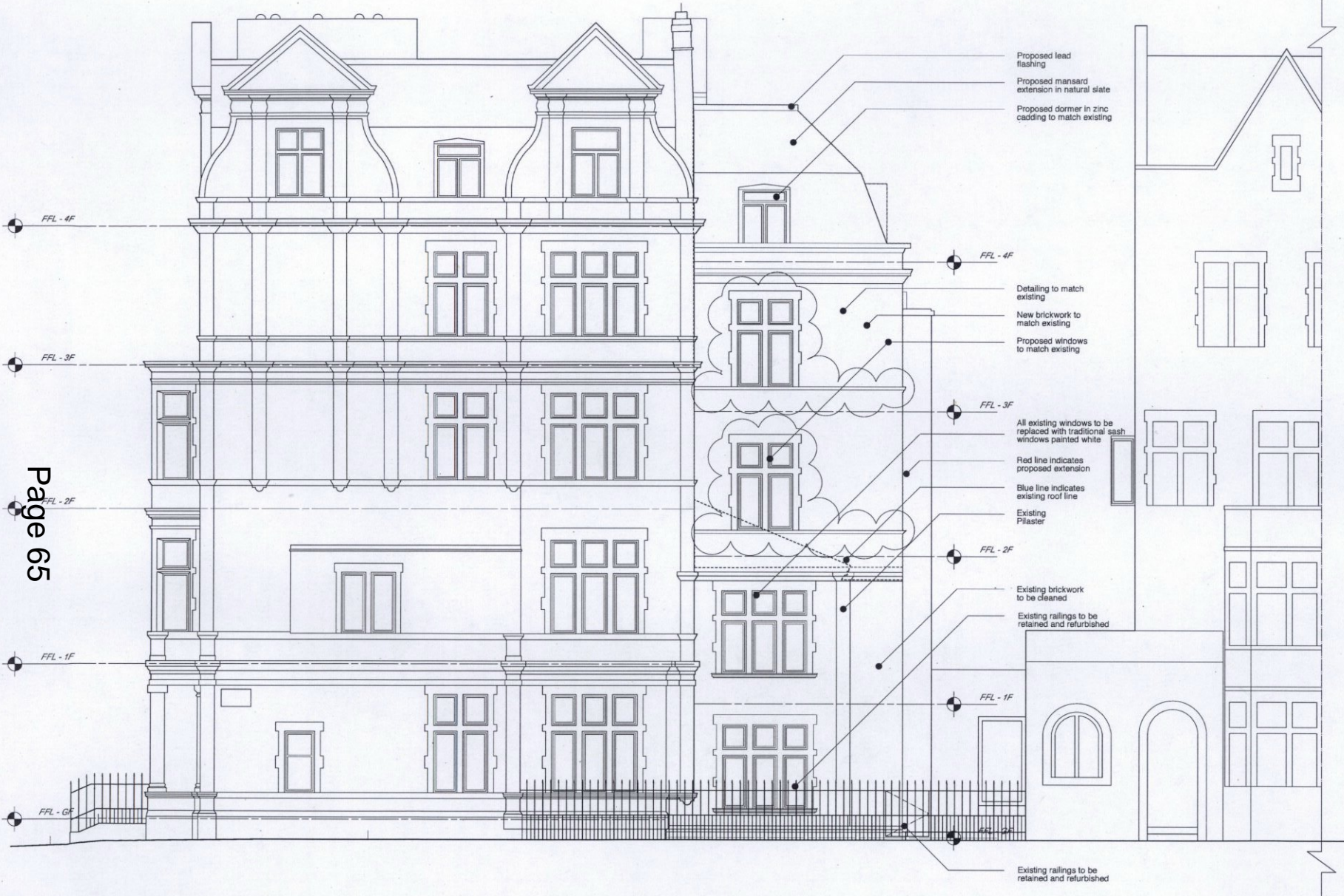
P1 200315 Issued to planning
 Markham



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Client	
Project	
Drawing Title	
Scale	Drawn
Information	MC
Scale	RD
1:50@A1/1:100@A3	Oct 2014
Dwg. No.	Revision
201_EE_02	P1

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Page 65

1 Palace Court

A
GE.00 **Proposed Palace Court Elevation**
1:50@A1/1:100@A3

P2 11/06/15 Revisions as detailed
P1 30/03/15 based on planning
Revisions



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Client:
Project:
1 Palace Court
London W2 4LP
Drawing Title:
Proposed Side Elevation

Scale	Drawn	Checked
1:50@A1/1:100@A3	MC	RD
Drawn No:	Date:	Revision
201_GE_01	Feb 2015	P2

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Proposed lead flashing
 Proposed mansard extension in natural slate
 Proposed dormer to match existing

Proposed double glazed timber sash windows with brick soldier course feature
 Corner detail to match existing
 Red line indicates proposed extension
 New brickwork to match existing

All existing windows to be replaced with traditional sash windows painted white

Blue line indicates existing openings to be infilled with brickwork or enlarged as shown
 Existing brickwork to be cleaned

Proposed Double Doors to lower ground floor with soldier course feature

FFL - 4F

FFL - 3F

FFL - 2F

FFL - 1F

FFL - GF

FFL - LGF

1 Palace Court

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P2 15/06/15 Revisions as detailed
 P1 20/02/15 based on planning

21st
 Architecture Ltd
 Twenty First Architecture Ltd,
 814 Goswell Road,
 London,
 EC2V 6AF
 Tel: +44(0)20 7982 6882
 www.21starchitecture.com

Client:
 Project:
 1 Palace Court
 London W2 4LP
 Drawing Title:
 Proposed Rear Elevation

Scale	Drawn	Checked
Information	MC	RD
Scale	1:50@A1/1:100@A3	Date: Feb 2015
Drawn No.	201_GE_03	Revision
		P2

PHOTO MONTAGE VIEW OF PROPOSED
EXTENSION FROM BAYSWATER ROAD

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PHOTOMONTAGE VIEW
OF PROPOSED EXTENSION
FROM PALACE COURT

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Agenda Item 3

Item No.
3

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Report of Director of Planning		Wards involved West End	
Subject of Report	4 Meard Street, London, W1F 0EF		
Proposal	Use of the basement as a restaurant (Class A3) in association with the existing restaurant at ground floor level. Installation, retention and reconfiguration of plant at rear first floor level and existing high level extract duct terminating at roof level. Internal alterations at basement and ground floor level including the installation of an acoustic ceiling at ground floor level.		
Agent	bptw Partnership Ltd		
On behalf of	Honest Burgers Ltd		
Registered Number	14/11839/FULL 14/11840/LBC	TP / PP No	TP/9381
Date of Application	01.12.2014	Date amended/ completed	19.12.2014
Category of Application	Other		
Historic Building Grade	Grade II* Listed Building		
Conservation Area	Soho		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Within Core Central Activities Zone		
Stress Area	Within West End Stress Area		
Current Licensing Position	Premises Licence allows the following opening times: Monday to Saturday 10.00 – 00.30 Sundays 12.00 – 00.00		

1. RECOMMENDATION

1. Refuse permission - Impact of restaurant extension on residential amenity.
2. Refuse listed building consent - Impact of the proposals on the special architectural interest of the building.





4 MEARD STREET, W1
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2. SUMMARY

This is a Grade II* listed building situated within the Soho Conservation Area, Core Central Activities Zone and West End Stress Area. The application site is located on the northern side of Meard Street, the ground floor is in use as a restaurant (Class A3), whilst the basement is currently vacant, but was last in use as a night club (sui generis). The upper floors are in residential use (Class C3). Planning permission and listed building consent are sought to amalgamate the basement into the existing restaurant use (Class A3) at ground floor. It is also proposed to install plant at rear first floor level and to reconfigure an existing high level extract duct which terminates at roof level and to make internal alterations at basement and ground floor levels, including the installation of an acoustic ceiling at ground floor level.

The key issues for consideration are:

- The impact of the entertainment use on amenity and the character and function of this part of the Soho Conservation Area;
- The impact of internal and external alterations on the character and appearance of the listed building and the conservation area.

It is considered that the proposal to extend the existing restaurant would add to the existing late night activity and disturbance in this part of the West End Stress Area. This, together with similar changes in other buildings in the area would harm the character and function of the area, the quality of the area's environment and the amenity of nearby residents.

Due to its location and thickness, the installation of the acoustic ceiling would harm the special architectural interest of this Grade II* listed building. The applications for listed building consent and planning permission are therefore recommended for refusal for the above reasons.

3. CONSULTATIONS

HISTORIC ENGLAND

Flexible authorisation received (24/12/2014).

CROSSRAIL LTD

Do not wish to comment.

THAMES WATER

Recommend installation of fat trap on all catering establishments.

SOHO SOCIETY

Objection. The business is located on a quiet pedestrianised street within the West End Stress Area where A3 use is already saturated. Increasing A3 in this location will cause a threat to residential amenity through increased noise nuisance.

ENVIRONMENTAL HEALTH

No objection.

HIGHWAYS PLANNING MANAGER

No objection subject to conditions.

CLEANSING MANAGER

No objection subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 129; Total No. of Replies: 4.

Four letters of objection received on the following grounds:

Amenity

- The existing restaurant is very busy and its patrons often queue and wait on Meard Street causing noise and disturbance to local residents. The addition of more restaurant floorspace will exacerbate this. Currently, customers waiting for a table and/or takeaway food queue through much of the day, and throughout the year.
- Customers using the restaurant's outdoor tables and chairs also cause noise disturbance to neighbouring properties.
- Customers wait on the street for a table and/or takeaway food. This happens through much of the day, and throughout the year.
- There have been previous complaints to the City Council's Noise Team and these are still not resolved.
- The applicant's noise report is flawed as it is predicated on the basis of background noise from traffic and pedestrians, many of whom are the restaurant's own customers, and therefore artificially increase the background noise level.
- The noise readings were not taken during lunchtime so the correlation of noise with mealtimes is not apparent.
- The restaurant and patrons waiting outside are changing the character of what is a primarily residential street.
- The outside tables and chairs should not be permitted under this application.

ADVERTISEMENT/SITE NOTICE: Yes

4. BACKGROUND INFORMATION**4.1 The Application Site**

4 Meard Street is a Grade II* listed mid terrace building situated within the Soho Conservation Area, Core Central Activities Zone and West End Stress Area. The site is located on the northern side of Meard Street, the ground floor is currently in use as a restaurant (Class A3), whilst the basement is vacant, but was last in use as a night club (sui generis). The upper floors are in residential use (Class C3) as three self-contained units.

4.2 Relevant History

Permission was refused in August 2008 for the use of the basement as an office. The application was refused on the grounds that the office would rely on an access shared with the residential properties on the upper floors and that this would be harmful to the amenity of the residential occupiers of the building.

5. THE PROPOSAL

Permission is sought for the use of the basement as a restaurant (Class A3) in association with the existing restaurant at ground floor level.

It is proposed to reconfigure the plant at the rear of the property. This involves installing a new kitchen extract and filter at rear first floor level, and to fit new cleaning access doors and a discharge cone to the full height duct on the rear elevation. These amendments are intended to improve noise and odour emissions from the existing extraction system.

Internal alterations are proposed at basement and ground floor level associated with the extension of the restaurant into the basement and the reconfiguration of restaurant accommodation at ground floor level.

The extension of the restaurant into the basement would result in an additional 28 covers (plus a customer holding area with a further six seats). The hours of operation would be unchanged.

	Existing A3 use	Proposed A3 use
Class A3 floorspace on site	82m2	184m2
No. of covers indicated by applicant.	32	58 (and additional six seats within waiting area)
Hours of operation	Mon – Wed 12:00-23.00 Thurs-Sat 11.45-23.00 Sundays 12.00-22.00	Mon – Wed 12:00-23.00 Thurs-Sat 11.45-23.00 Sundays 12.00-22.00
Takeaway/delivery service	Ancillary takeaway (collection in person)	Ancillary takeaway (collection in person)
Refuse storage arrangement	Contained within ground floor	New refuse storage is within basement vaults
Air conditioning/ventilation ducting	Full height extract duct	Alterations to plant and extract duct to improve noise/odour emissions

6. DETAILED CONSIDERATIONS

6.1 Land Use and Residential Amenity

The basement was previously in use as a night club (sui generis) known as the Soho Lounge, which also occupied part of the basement of 69-70 Dean Street and the basement of 2 Meard Street. The entrance to the night club was from Dean Street rather than Meard Street. The basement area appears to have been vacant since 2008 when planning permission (RN:08/01674/FULL) was granted for the installation of party walls with the neighbouring units at basement level.

There are no adopted policies which protect night club uses, and therefore the loss of the night club floorspace is not resisted by the City Council.

The applicant has confirmed that the restaurant operates a takeaway service. Over the course of the week, the takeaway element forms an average of 9% of trade. There is no delivery

service and takeaways can only be collected in person. It is considered that the predominant use of the premises is restaurant (Class A3) and that the takeaway element is ancillary to this use.

As the proposal would create an enlarged entertainment use comprising 184m², it is assessed under the City Council's TACE policies. Policy TACE9 of the UDP states that permission for restaurant uses (Class A3) between 150m² - 500m² of gross floorspace inside the Core CAZ and designated West End Stress Area, may be permissible, where the proposed development will have no adverse impact on residential amenity or local environmental quality, and no adverse effect on the character or function of its area. Policy S24 of the City Plan also relates to new entertainment uses and has similar policy requirements for units of this size.

Policy TACE9 requires that within Stress Areas, permission will only be granted for restaurant uses (between 150m² and 500m²) where the City Council is satisfied that the proposed development has:

1. No adverse effect, (nor, taking into account the number and distribution of entertainment uses in the vicinity, any cumulatively adverse effect) upon residential amenity or local environmental quality as a result of:
 - a) noise
 - b) vibration
 - c) smells
 - d) increased late night activity, or
 - e) increased parking and traffic; and
2. No adverse effect on the character or function of its area.

As mentioned, the site is located within the West End Stress Area, an area where the numbers of restaurants, cafés, takeaways, public houses, bars and other entertainment uses is considered to have reached a level of saturation. Paragraph 8.94 of the UDP states that *"In the Stress Areas, additional entertainment premises, some extensions to existing premises, and extensions of opening hours of larger premises until late in the night will be considered, in most instances, to add to the problems in those areas"*.

The application involves the extension of an existing premises, rather than the creation of a completely new premises. The proposal does not seek to increase the proposed opening hours. The additional floorspace is located at basement level, and the proposal does not involve the amalgamation of units, or an increase in the size of the shop frontage. For these reasons, when viewed from the street, the restaurant will appear no larger than the existing premises.

Whilst Meard Street is located within the West End Stress Area, it is significantly quieter and more residential in character than Dean Street and Wardour Street which bookend it and which experience very high pedestrian volumes at all hours of the day. The street is partially pedestrianised, and characterised by buildings which generally have commercial uses at ground floor levels, with residential properties on the upper floors of the majority of properties.

Objections have been received from neighbouring residential occupiers for a variety of reasons, primarily relating to noise from the existing premises. Objectors state that the existing restaurant is very busy and its patrons often queue and wait on Meard Street causing noise and disturbance to local residents. They are concerned that the addition of more

restaurant floorspace will exacerbate this. Objectors state that customers waiting for a tables and/or takeaway food, queue outside through much of the day, and throughout all times of the year. Objectors also mention that there have been previous complaints to the City Council's Noise Team and these have still not been resolved and that the restaurant and patrons waiting outside are changing the character of what is a primarily residential street.

The objections have been raised with the applicant, who has provided a response to a number of the issues. The proposals seek to increase the internal capacity from the existing 32 to 58 covers, plus an additional six seats within a customer 'holding area'.

The applicant states that during the restaurant's less busy periods, the wait time can be 15-20 minutes with approximately 20-25 customers waiting for tables. They consider that the 26 additional covers, plus six holding spaces, will help to reduce the number of customers queuing outside the premises.

In addition, the restaurant uses a Quidini Management App to control the queue outside the premises. Some objectors have stated that the App does not appear to have helped reduce queuing outside the premises. The App is used to control the queue when there are long waiting times. Staff take customer's name, phone number and party size. Customers are able to visit an alternative venue whilst waiting, and can track their position in the 'virtual' queue, and are summoned once their table is ready. The applicant comments that the App has been effective in reducing and managing the queue. However, objectors state that they have not noticed a reduction in noise since the introduction of the App.

Objectors also state that customers using the restaurant's outdoor tables and chairs also cause noise disturbance to neighbouring properties. The placing of tables and chairs on the public highway requires a separate planning permission. The applicant does not currently have permission to place tables and chairs outside the restaurant on Meard Street, and has been informed that they require a separate planning permission. The tables and chairs should therefore be removed from the public highway, and a planning application should be submitted for them. The impact of the outdoor tables and chairs on local residential amenity will be assessed under this forthcoming application.

It is considered that the existing restaurant is causing demonstrable noise impact on nearby residential occupiers. Whilst the proposal would introduce additional seating within the basement, given the number of customers that the restaurant attracts, it has not been sufficiently demonstrated that the additional covers would prevent customers congregating outside the premises to queue, smoke, make telephone calls and loiter outside when leaving and waiting for taxis, mini cabs etc, as is the case at present. Given the proximity of neighbouring residents, it is considered that the proposal to increase the floorspace is likely to continue to cause noise nuisance to nearby residents. The proposed restaurant extension within the West End Stress Area therefore conflicts with the aims of UDP Policy TACE9 and City Plan Policy S24.

6.2 Townscape and Design

There are no external works proposed to the restaurant's front elevation. To the rear of the property, it is proposed to reconfigure a new kitchen extract and filter at rear first floor level and to fit new cleaning access doors and a discharge cone to the full height duct on the rear elevation. The proposed duct is considered acceptable in design and listed building terms, provided it is powder coated black to reduce the visual impact on the rear of the property. It is recommended that this is secured by condition.

It is proposed to install an acoustic ceiling at ground floor level which is approximately 75mm

thick. This will clash with the cornice and obscure some of its detail to the detriment of the appearance and special architectural interest of the rooms affected. There is no evidence to show how successful the new ceiling would be in reducing noise transmission, or if any alternatives have been investigated, and there is no evidence provided to demonstrate that this work is necessary. No complaints have been made to the City Council about internal noise transmission and no objections to this application have been received about internal noise transmission. Therefore, in the absence of any tangible or quantifiable benefits that would outweigh the harm to the special interest of this Grade II* listed building arising from installation of the proposed acoustic ceiling, the alteration is unacceptable in heritage asset terms.

6.3 Plant

The application has been considered in the context of Policies ENV6 and ENV7 of the UDP and S32 of the City Plan. These policies seek to protect nearby occupiers of noise sensitive properties and the area generally from excessive noise and disturbance.

Objections have been received from neighbouring residents on the grounds that the applicant's noise report is flawed as it is predicated on the basis of background noise from traffic and pedestrians, many of whom are the restaurant's own customers, and therefore artificially increase the background noise level. It is also suggested that as the noise readings were not taken during lunchtime the correlation of noise with mealtimes is not apparent.

The area has been identified in the Acoustic Report as having background noise levels which are above WHO guideline levels during the daytime and nighttime. To accord with Policy ENV7 of the UDP the noise levels emitted by the plant will have to be 10dB below background at the nearest noise sensitive windows. The Council's Environmental Health officer has studied the report and considers that the proposed installation will meet the noise design level criteria.

Environmental Health consider the high level extract duct proposed is suitable to enable the discharge of cooking odours without detriment to neighbouring residential amenity.

The proposal involves very minor reconfiguration of the existing extract duct. The route of the duct will not be any closer to neighbouring windows than existing, and it is not considered that it will have any impact in terms of loss of daylight or sunlight.

6.4 Transportation/Servicing

The Highways Planning Manager has requested a condition be attached to any permission requiring cycle parking to be provided within the demise of the unit for use by staff. Whilst the London Plan guidelines also require cycle parking for patrons, this is not considered achievable in this location, given the constrained nature of this small unit located within a listed building.

The Highways Planning Manager advises that the relatively small increase in restaurant floorspace is unlikely to materially affect the unit's servicing requirements.

6.5 Economic Considerations

Any economic benefits generated are welcome.

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3

6.6 Access

The access arrangements are unchanged. Level access will be provided to the ground floor of the premises.

6.7 Other UDP/Westminster Policy Considerations

Not applicable.

6.8 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

The proposal does not raise a requirement for a planning obligation.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

The scale of the proposed development does not require the submission of an Environmental Impact Assessment or provide opportunities for additional sustainability measures.

6.12 Conclusion

The planning application is recommended for refusal due to the impact that it will have on residential amenity. The listed building consent application is recommended for refusal due to the impact that the proposed acoustic ceiling will have on the special architectural interest of the building.

BACKGROUND PAPERS

1. Application forms
2. Letter from English Heritage dated 24 December 2014
3. Letter from Crossrail Ltd dated 6 January 2015

4. Letter from Thames Water dated 6 January 2015
5. Letter from Soho Society dated 8 January 2015
6. Memorandum from the Cleansing Manager dated 5 January 2015
7. Memorandum from the Highways Planning Manager dated 6 January 2015
8. Memorandum from Environmental Health dated 22 June 2015
9. Letter from occupier of 7 Meard Street dated 5 January 2015
10. Letter from occupier of 11 Meard Street dated 13 January 2015
11. Letter from occupier of Flat 2, 13 Meard Street dated 13 January 2015
12. Letter from occupier of 13 Meard Street dated 13 January 2015

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT MATTHEW MASON ON 020 7641 2926 OR BY E-MAIL – mmason@westminster.gov.uk

DRAFT DECISION LETTER**Address:** 4 Meard Street, London, W1F 0EF**Proposal:** Use of the basement as a restaurant (Class A3) in association with the existing restaurant at ground floor level. Installation, retention and reconfiguration of plant at rear first floor level and existing high level extract duct terminating at roof level. Internal alterations at basement and ground floor level including the installation of an acoustic ceiling at ground floor level.**Plan Nos:** 04.01/A; 04.02/A; 04.03/A; 04.04; 04.06/A; 04.07; 04.08; 04.09; 04.13; 04.14; 04.15/A; 04.17; 04.18/A; 05.18/A; 04.20; 04.21; 04.22/A; 04.23; 04.24; 05.01; 05.02; 06.01; 06.02/A; 07.06; 09.02; Noise Assessment (November 2014); site location plan**Case Officer:** Billy Pattison**Direct Tel. No.** 020 7641 3267**Recommended Reason(s) for Refusal:****Reason:**

- 1 The proposal to extend the existing restaurant would add to the existing late-night activity and disturbance in this part of the West End Stress Area. This, together with similar changes in other buildings in the area (cumulative effect), would harm:
- the character and function of the area;
 - the quality of the area's environment; and
 - the amenity of nearby residents.

This is as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and TACE 10, ENV 6 and ENV 7 of our Unitary Development Plan that we adopted in January 2007. (X40AA)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way so far as practicable. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service. However, we have been unable to seek solutions to problems as the principle of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.
- 2 You are advised that the tables and chairs on the highway do not benefit from planning permission. They should be removed and a planning application be submitted to regularise the situation.

DRAFT DECISION LETTER

Address: 4 Meard Street, London, W1F 0EF

Proposal: Installation, retention and reconfiguration of plant at rear first floor level and existing high level extract duct terminating at roof level. Internal alterations at basement and ground floor level including the installation of an acoustic ceiling at ground floor level.

Plan Nos: 04.01/A; 04.02/A; 04.03/A; 04.04; 04.06/A; 04.07; 04.08; 04.09; 04.13; 04.14; 04.15/A; 04.17; 04.18/A; 05.18/A; 04.20; 04.21; 04.22/A; 04.23; 04.24; 05.01; 05.02; 06.01; 06.02/A; 07.06; 09.02; Noise Assessment (November 2014); site location plan

Case Officer: Billy Pattison

Direct Tel. No. 020 7641 3267

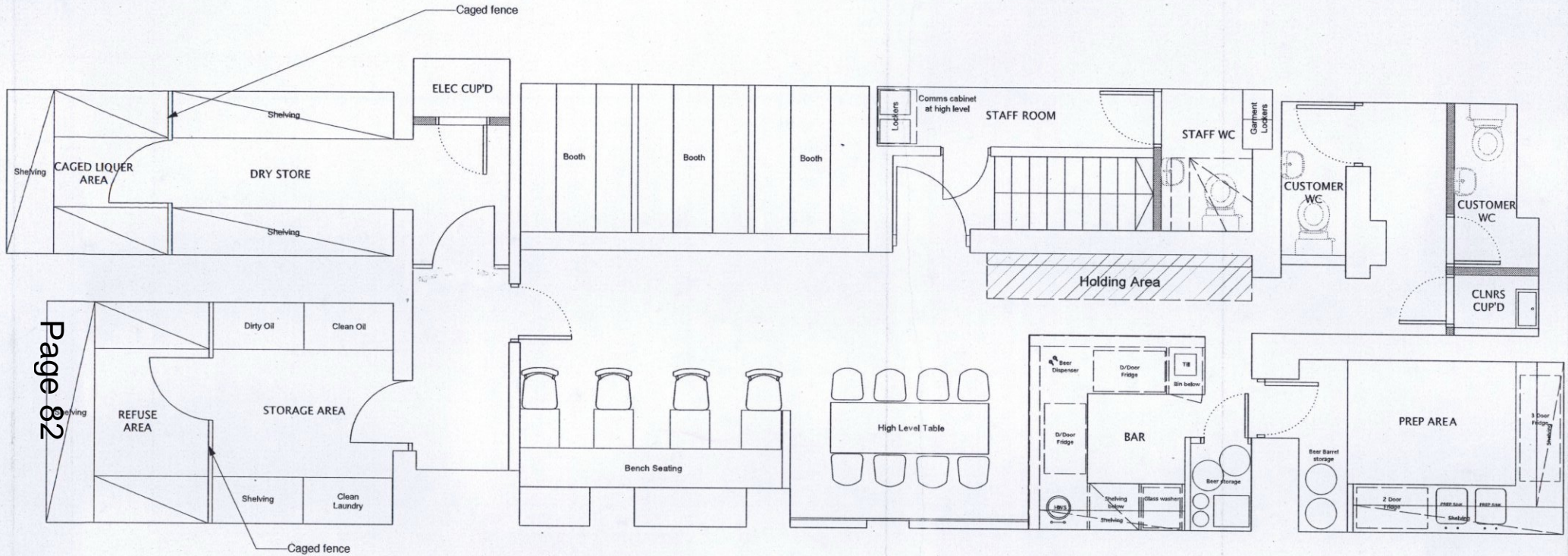
Recommended Reason(s) for Refusal:**Reason:**

- 1 Because of its location and thickness, installation of the acoustic ceiling would harm the special architectural interest of this grade II-Star listed building. This would be against the advice set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007 and the advice set out in paragraph 2.4 of our Supplementary Planning Guidance: 'Repairs and Alterations to Listed Buildings'.

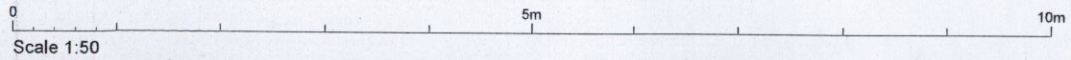
Informative(s):

- 1 The City Council considers that the installation of the acoustic ceiling is unacceptable in principle in conservation terms.

COVERS: 34no.
 AREA: 102SQ M



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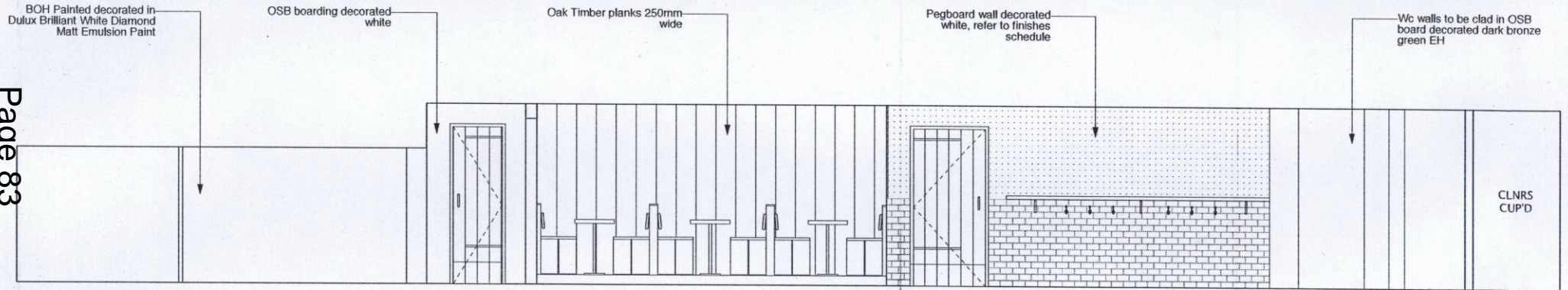
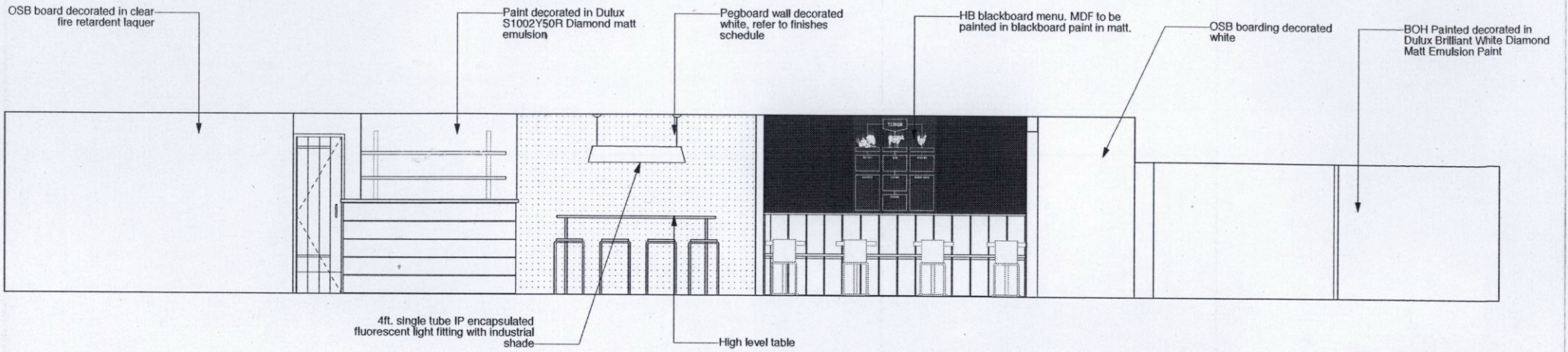
- GENERAL NOTES**
- ALL FINISHES ARE TO CONFORM TO THE REQUIRED CURRENT BUILDING REGULATIONS IN THE APPLICABLE COUNTRY (IN A U.K. RESTAURANT ALL FINISHES ARE TO BE CLASS 1 OR EQUIVALENT)
 - CONTRACTORS MUST VERIFY ALL SITE DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO STONEBLUE PROJECTS LK. BEFORE PROCEEDING WITH ANY WORK
 - ALL REQUESTED DRAWINGS SHOWING FIXINGS AND CONSTRUCTION DETAILS ARE TO BE APPROVED BY STONEBLUE PROJECTS LK. PRIOR TO COMMENCEMENT OF WORK
 - ALL SPECIFIED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS
 - CONTRACTOR TO PROVIDE A WORKING ENVIRONMENT WHICH CONFORMS TO THE CURRENT HEALTH AND SAFETY AT WORK CONDITIONS AND LOCAL AUTHORITY REGULATIONS
 - ALL FINISHES ARE TO BE CARRIED OUT TO A HIGH STANDARD
 - ANY DIMENSIONS ARE TO BE TAKEN FROM THE SETTING OUT PLAN ONLY AND ARE NOT TO BE SCALED FROM THE DRAWINGS
 - IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE AND ENSURE THAT ANY BUILDING WORK IS CARRIED OUT UNDER LOCAL AUTHORITY REQUIREMENTS
 - THE CONTRACTOR IS TO CHECK AND APPRAISE ALL DESIGN, SHOPFITTING AND CONSTRUCTION DETAILS AND OFFER ALTERNATIVES TO THE DESIGNER FOR APPROVAL
 - IN THE EVENT THAT DRAWING INFORMATION IS NOT THE SAME AND IF THE DESIGNER AND/OR SUPERVISING OFFICER ARE UNAVAILABLE FOR COMMENT THE PROPOSED PLAN IS TO BE READ AS CORRECT
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT CONSULTANTS DRAWINGS
 - COPYRIGHT OF STONEBLUE PROJECTS LK. NOT TO BE REPRODUCED

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 ray@stoneblueprojects.co.uk

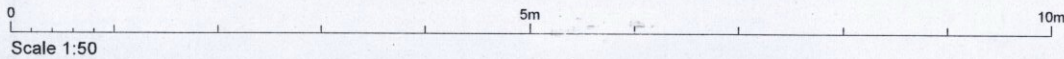
PROJECT	Honest Burgers 4 Meard Street		
TITLE	Proposed Basement - GA		
DRAWN	RD	DATE	SCALE
		May 2014	1:50 @ A3
PROJECT	NUMBER	REVISION	
s2366	04.03	A	

- INFORMATION ONLY
- APPLICATION FOR LOCAL AUTHORITY
- TENDER
- CONSTRUCTION

A	26.1.15	High level table added and leaner tables omitted	
REV	DATE	ITEM	



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GENERAL NOTES

1. ALL FINISHES ARE TO CONFORM TO THE REQUIRED CURRENT BUILDING REGULATIONS IN THE APPLICABLE COUNTRY (IN A U.K. RESTAURANT ALL FINISHES ARE TO BE CLASS 1 OR EQUIVALENT)
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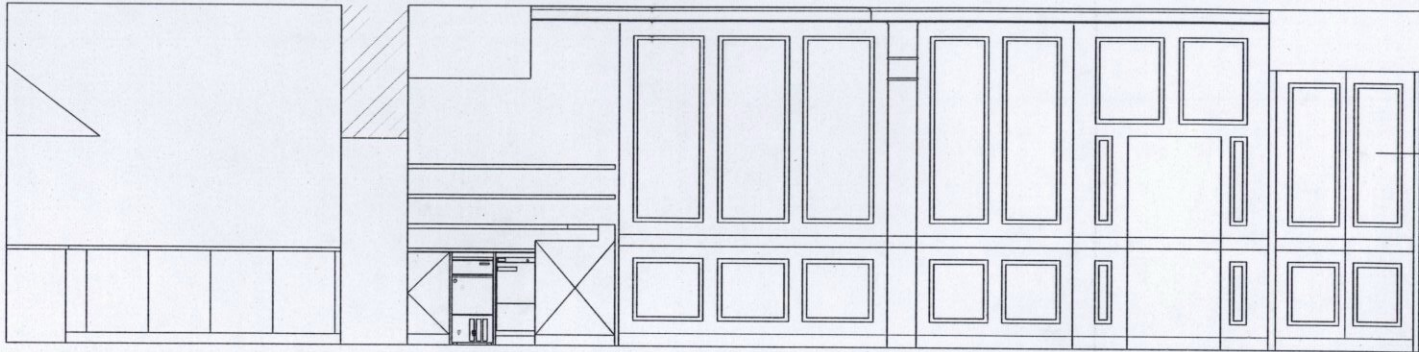
Stoneblue Projects

design, project management, cost consultants
 12 Bedford Road
 Twickenham
 Middlesex
 TW2 5EW
 ray@stoneblueprojects.co.uk

PROJECT	Honest Burgers 4 Meard Street	
TITLE	Proposed Basement - Sections A & B	
DRAWN	DATE	SCALE
RD	May 2014	1:50 @ A3
PROJECT	NUMBER	REVISION
s2366	06.02	A

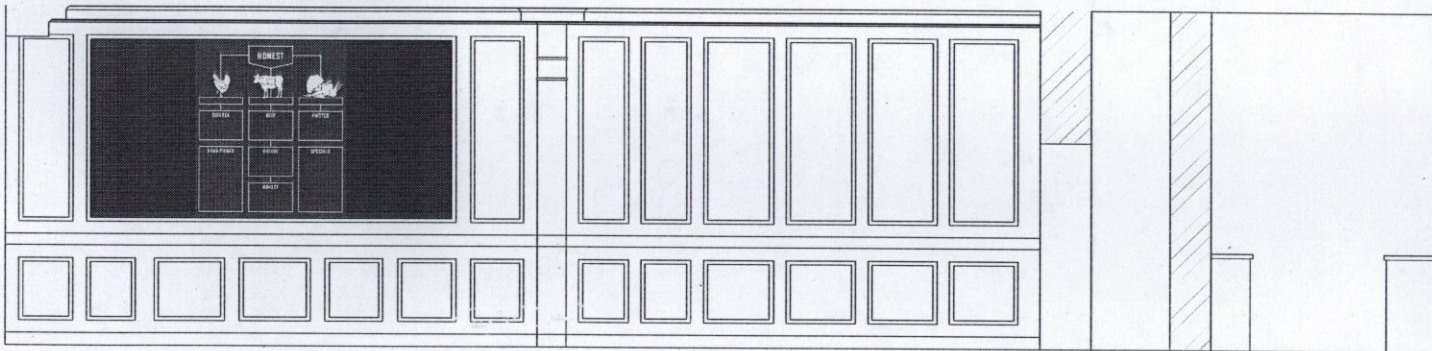
- INFORMATION ONLY
- APPLICATION FOR LOCAL AUTHORITY
- TENDER
- CONSTRUCTION

A	26.1.15	High level table added and leaner tables omitted
REV	DATE	ITEM

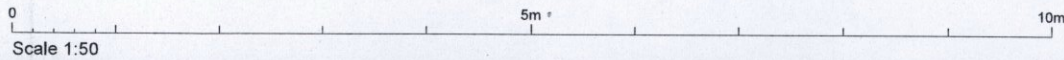
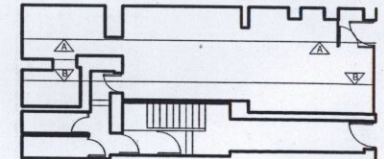


New double door cupboard.
Doors panelled to match
existing wall panelling

VIEW ON ARROW A



VIEW ON ARROW B



GENERAL NOTES

- ALL FINISHES ARE TO CONFORM TO THE REQUIRED CURRENT BUILDING REGULATIONS IN THE APPLICABLE COUNTRY (IN A U.K. RESTAURANT ALL FINISHES ARE TO BE CLASS 1 OR EQUIVALENT)
- CONTRACTORS MUST VERIFY ALL SITE DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO STONEBLUE PROJECTS LTD. BEFORE PROCEEDING WITH ANY WORK
- ALL REQUESTED DRAWINGS SHOWING FIXINGS AND CONSTRUCTION DETAILS ARE TO BE APPROVED BY STONEBLUE PROJECTS LTD. PRIOR TO COMMENCEMENT OF WORK
- ALL SPECIFIED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS
- CONTRACTOR TO PROVIDE A WORKING ENVIRONMENT WHICH CONFORMS TO THE CURRENT HEALTH AND SAFETY AT WORK CONDITIONS AND LOCAL AUTHORITY REGULATIONS
- ALL FINISHES ARE TO BE CARRIED OUT TO A HIGH STANDARD
- ANY DIMENSIONS ARE TO BE TAKEN FROM THE SETTING OUT PLAN ONLY AND ARE NOT TO BE SCALED FROM THE DRAWINGS
- IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE AND ENSURE THAT ANY BUILDING WORK IS CARRIED OUT UNDER LOCAL AUTHORITY REQUIREMENTS

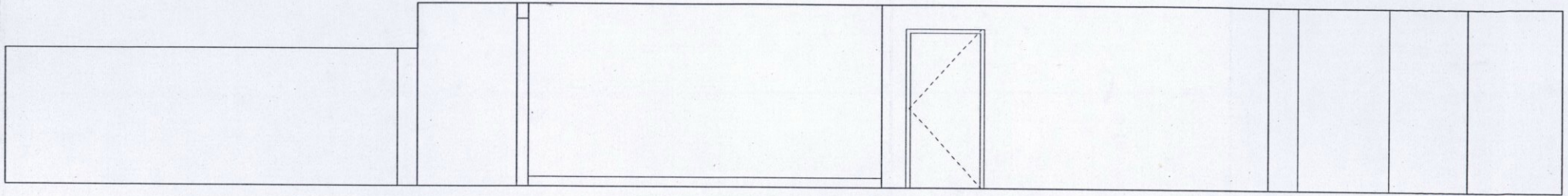
- THE CONTRACTOR IS TO CHECK AND APPRAISE ALL DESIGN, SHOPFITTING AND CONSTRUCTION DETAILS AND OFFER ALTERNATIVES TO THE DESIGNER FOR APPROVAL
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12 Bedford Road
Twickenham
Middlesex
TW2 5EW
ray@stoneblueprojects.co.uk

PROJECT	Honest Burgers 4 Meard Street	
TITLE	Proposed Ground Floor - Sections	
DRAWN	DATE	SCALE
RD	May 2014	1:50 @ A3
PROJECT	NUMBER	REVISION
s2366	06.01	A

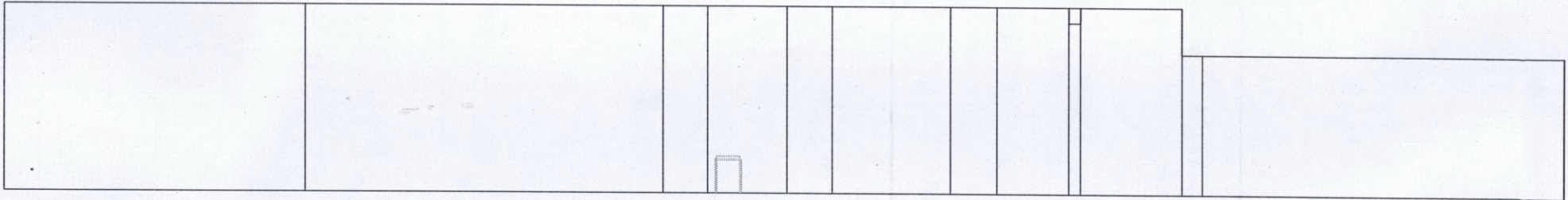
- INFORMATION ONLY
- APPLICATION FOR LOCAL AUTHORITY
- TENDER
- CONSTRUCTION

A	19.2.15	Acoustic ceiling omitted
REV	DATE	ITEM

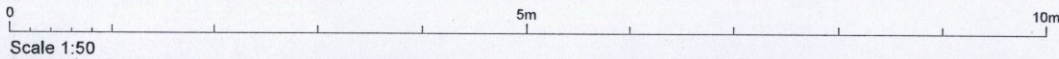


01 SECTION A
1:50 @A3

Page 85



02 SECTION B
1:50 @A3



GENERAL NOTES

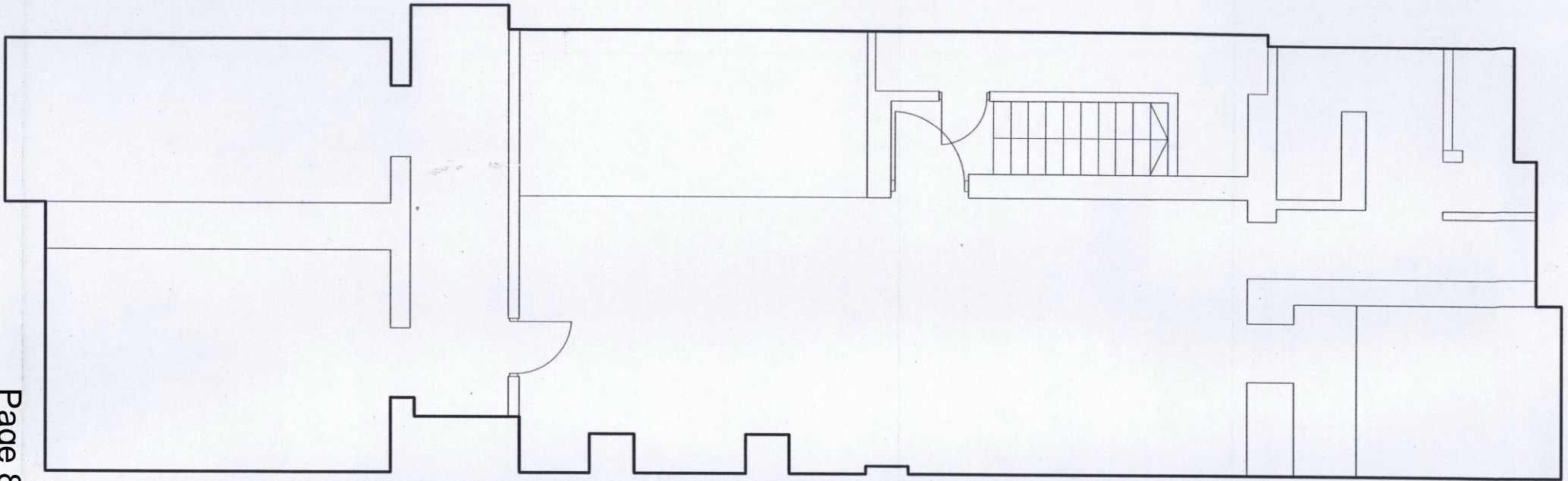
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12 Bedford Road
Twickenham
Middlesex
TW2 5EW
ray@stoneblueprojects.co.uk

PROJECT	Honest Burgers 4 Meard Street	
TITLE	Existing Basement - Sections A & B	
DRAWN	DATE	SCALE
RD	May 2014	1:50 @A3
PROJECT	NUMBER	REVISION
s2366	02.09	-

- INFORMATION ONLY
- APPLICATION FOR LOCAL AUTHORITY
- TENDER
- CONSTRUCTION

REV	DATE	ITEM



GENERAL NOTES

1. ALL FINISHES ARE TO CONFORM TO THE REQUIRED CURRENT BUILDING REGULATIONS IN THE APPLICABLE COUNTRY (IN A U.K. RESTAURANT ALL FINISHES ARE TO BE CLASS 1 OR EQUIVALENT)
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 Middlesex
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PROJECT	Honest Burgers 4 Meard Street	
TITLE	Basement Demise Plan	
DRAWN FD	DATE May 2014	SCALE 1:50 @ A3
PROJECT s2366	NUMBER 00.04	REVISION -

- INFORMATION ONLY
- APPLICATION FOR LOCAL AUTHORITY
- TENDER
- CONSTRUCTION

REV	DATE	ITEM
-	-	-

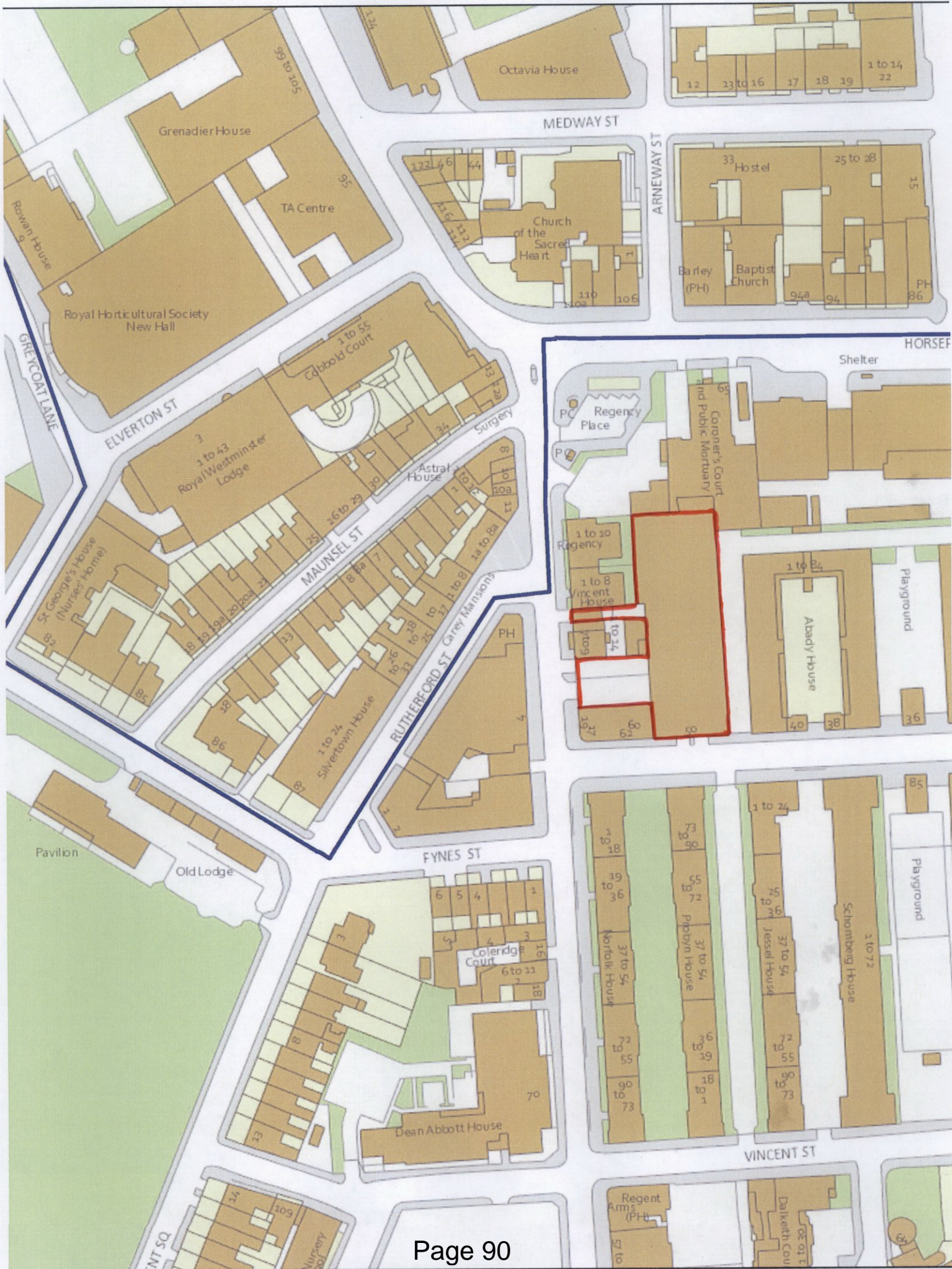
Agenda Item 4

Item No.
4

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Report of Director of Planning		Wards involved Vincent Square	
Subject of Report	Council Cleansing Depot, 50 Page Street and 11-15 Regency Street, London, SW1P 4DE		
Proposal	Details of brick sample, the internal layout of the basement car park and storage of refuse pursuant to Conditions 1, 3 and 5 of outline permission dated 27 August 2009 (RN: 09/05002) for redevelopment of the site to provide 32 residential units, basement car parking and a new cleansing depot.		
Agent	Capital Architecture Ltd.		
On behalf of	Thornsett Group Plc.		
Registered Number	15/04332/ADFULL	TP / PP No	TP/6599
Date of Application	15.05.2015	Date amended/ completed	15.05.2015
Category of Application	Non DCLG		
Historic Building Grade	Unlisted		
Conservation Area	Page Street		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Core Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Approve details.





COUNCIL CLEANSING DEPOT, 50 PAGE STREET
AND 11-15 REGENCY STREET, SW1

2. SUMMARY

The application site comprises the Page Street depot. The planning history for this site is lengthy, however, building works are currently underway for the construction of 32 residential units with basement car parking and a new cleansing depot. Pedestrian access to the residential units will be from Regency Street from one of two entrances whereas access to the basement car park and the new Council depot will be from Page Street. There is a secondary vehicle access point from Regency Street through the main gate to allow for refuse collection and deliveries. The application site is located within the Page Street Conservation Area.

There are residential properties that surround the site to the east, south and west. In particular, flats within Vincent House, Nos. 7-9 and Nos. 17-19 Regency Street back directly onto the site. Part of Vincent House extends over a passageway that provides pedestrian access to the site. There are low level residential windows in the flank wall of Vincent House that face onto the passageway.

This application seeks to resubmit details relating to the external appearance of the building, the internal layout of the basement car park and storage of refuse pursuant to Conditions 1, 3 and 5 of outline permission dated 27 August 2009 (RN: 09/05002).

The Council has received letters of representation on behalf of the leaseholders of Vincent House and from a resident at 19 Regency Street.

External appearance of the building

Details of the external appearance of the development were originally approved in August 2007. The applicant now proposes to use a red brick (Warnham Red Stock) for the street facing elevations of the development and a yellow brick (Smead Dean Docklands Yellow multi) for inward facing elevations. Samples of the bricks have been provided to officers. These bricks are considered acceptable in design terms and will preserve the character and appearance of the conservation area.

Basement car park

The layout for the basement car park is substantially similar to that approved by the Council in 2009. However, the current plans show a smaller basement and a reduction in the number of parking spaces from 30 as approved down to 29. The applicant advises that this revision is required because basement footings of Nos. 7-9 Regency Street extend further into the site than indicated on the survey drawings. The reduction in parking is regrettable but will still result in an off street parking provision of 90% which is considered acceptable in this location.

The updated basement layout also shows alterations to the design of the ramp and improved cycle parking. These changes are considered acceptable in highways planning terms.

Refuse storage

Details of refuse storage for this development were approved on 27 August 2009. The approved drawings show 12 no. 360 litre wheeled bins for general waste located along the pedestrian pathway that runs underneath Vincent House.

Following concerns from residents of Vincent House that this location was inappropriate, the applicant recently agreed to relocate the bins. The new proposal is to site seven 660 litre bins along the high boundary wall with Vincent House and to provide screening. The bins will be wheeled to a collection point adjacent to the main gate on bin collection day for collection from Regency Street.

These bins are for the private residential units only. The affordable housing units will have their own refuse stores located close to the main gate and on Page Street.

The leaseholders of Vincent House are concerned about noise and smells from the revised bin location. These concerns are noted, however, it is not considered that the siting of the refuse bins in this location would be so harmful to residential amenity to justify a refusal on this basis. The bins will be screened from view by the high boundary wall and general refuse will be collected on a twice weekly basis. The applicant proposes to screen the bins, however, they will not be within a full enclosure. The applicant has rejected the leaseholders suggestion of moving the bins closer to the residential windows of the new flats within the development.

Other issues

Matters relating to the maintenance of the passageway are private matters between the leaseholders of Vincent House and the applicant.

On security matters, the applicant has also confirmed their intention to replace the wooden gates with metal grille gates in accordance with the details approved in August 2009 (RN 09/06597/COGADF). The approved drawings show black painted galvanised steel gates that will open inwards and will be operated automatically.

The applicant has confirmed that the passageway will be built in accordance with Secured by Design regulations and that low lighting will be installed to illuminate the external common parts.

Matters relating to the installation of double glazing to windows in the passageway are a private matter between the leaseholders of Vincent House and the applicant.

The applicant has confirmed that the management company will be responsible for the flower beds and associated maintenance costs.

With regard to the height of the boundary wall with Vincent House, the drawings approved under RN 06/08587/RESMAT advise that the existing brick boundary wall will be repaired and provided with brick header capping.

Kitchen extract ventilation riser

As part of the approved scheme, the development did include the provision of a vertical riser within the residential building adjacent to 17-19 Regency Street to allow the Regency Cafe kitchen extract to rise to roof level. However, this was not secured by planning condition meaning that there is no requirement on the applicant to implement this part of the scheme. It is not clear at this stage whether the vertical riser will be constructed despite requests for information from the applicant and Westminster Corporate Property. Whilst it is regretted that the position is not clear, it does not prejudice the determination of the current application.

3. CONSULTATIONS

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 42; Total No. of Replies: 3.

One letter on behalf of the Leaseholders of Vincent House raising objections to the siting of the refuse store and raising concerns about the maintenance, security and lighting of the passageway, details of the gates to the passageway and height of party wall.

Two letters from Nathan Silver Architects regarding the provision of a vertical kitchen extract ventilation riser in the residential building to serve the Regency Café.

4. RELEVANT PLANNING HISTORY

02/04963/COOUT

Outline application (siting and access) for redevelopment including 11-15 Regency Street to provide 32 flats, 30 basement car spaces, an A2/A1 retail unit, new Cleansing Depot; extension of existing flats at first and second floors, 17-19 Regency Street (Approved 03.10.2002)

06/05197/FULL

Variation of Condition 2 of outline planning permission dated 03 October 2002 (RN: 02/04963/COOUT) namely: to require all applications for reserved matters to be submitted within four years of 3 October 2002. (Approved 31.08.2006)

06/08587/RESMAT

Details of design and external appearance of the buildings, boundary walls and landscaping (includes an increase in bulk at third floor level to east elevation [fronting Abady House], to rear adjacent to Coroners Court and at fourth floor level to Regency Street frontage), pursuant to Condition 1 of outline permission dated 31 August 2006 (RN:06/05197/FULL) for redevelopment (including 11-15 Regency Street) to provide 32 residential units and new cleansing depot. (Approved 30.08.2007)

07/01241/OUT

Removal of Condition 27 of outline permission dated 31 August 2006 for redevelopment including 11-15 Regency Street to provide 32 flats, 30 car parking spaces, a retail (Class A1/A2) unit, new cleansing depot, and extension to existing flats at first and second floors of 17-19 Regency Street; namely, to enable the residential accommodation to be occupied without the extension to the existing flats at 17 and 19 Regency Street being commenced. (Approved 30.08.2007)

09/05001/ADRESM

Details of planting scheme pursuant to Condition 5 of reserved matters permission dated 30 August 2007 (RN: 06/08587). (Approved 27.08.2009)

09/05002/COOUT

Variation of Condition 25 of outline permission dated 3 October 2002 (RN 02/04963) as varied by permissions dated 31 August 2006 (RN 06/05197) and 30 August 2007 (RN 07/01241) for redevelopment including 11-15 Regency Street to provide 32 flats, 30 car parking spaces, a retail (Class A1/A2) unit, new cleansing depot, and extension to existing flats at first and second floors of 17-19 Regency Street namely, to prevent any works of bulk excavation until further archaeological works have been carried out and submitted to the local planning authority for approval (Approved 27.08.2009)

09/05003/COGADF

Details of access and egress for people with disabilities, refuse storage, ventilation system for the new cleansing depot, internal layouts of all floor levels of the new buildings, bat survey and community liaison group, pursuant to Conditions 9, 17, 18, 23, 24 and 29 of outline planning permission dated 3 October 2002 (RN 02/04963) as varied by permissions dated 31 August 2006 (RN 06/05197) and 30 August 2007 (RN 07/01241) for redevelopment (including 11-15 Regency Street) to provide 32 flats, 30 car parking spaces, a retail (Class A1/A2) unit, new cleansing depot, and extension to existing flats at first and second floors of 17-19 Regency Street. (Approved 27.08.2009)

09/06597/COGADF

Details of entrance gates accessed off Regency Street pursuant to Condition 1 C of reserved matters application dated 30 August 2007 (RN:06/08587). (Approved 27.08.2009)

11/03851/CLEUD

Implementation of the outline planning permission dated 3 October 2002 (RN: 02/06602/COOUT) as varied by permissions dated 31 August 2006 (RN:06/05197/FULL) and 30 August 2007 (RN:07/01241/OUT) and reserved matters approval dated 30 August 2007 (RN:06/08587/FULL) for redevelopment including 11-15 Regency Street to provide 32 flats, 30 basement car spaces, an A2/A1 retail unit, new Cleansing Depot; extension of existing flats at first and second floors, 17-19 Regency Street, within two years of the reserved matters approval. (Approved 04.07.2011)

13/10310/NMA

Amendments to reserved matters application dated 30 August 2007 (RN: 06/08587) and approval of details application dated 27 August 2007 (RN: 09/05003/COGADF) for redevelopment to provide 32 residential units and new cleansing depot; namely, relocation of four units designed to lifetime homes standards and alterations to fenestration and doors to internal courtyard elevation. (Approved 16.12.2013)

14/08039/COGADF

Details of archaeological study pursuant to Condition 12 of outline planning permission dated 27 August 2009 (RN: 09/05002/COOUT). (Approved 06.03.2015)

BACKGROUND PAPERS

1. Application form.
2. Memorandum from Highways Planning Manager.
3. Letter from the leaseholders of Vincent House dated 30 June 2015.
4. Letters from the owner/occupier of first floor, 19 Regency Street dated 7 July 2015 and 22 June 2015.
5. Letter from Thornsett dated 13 August 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT MATTHEW MASON ON 020 7641 2926 OR BY E-MAIL – mmason@westminster.gov.uk

DRAFT DECISION LETTER

Address: Council Cleansing Depot, 50 Page Street and 11-15 Regency Street, London, SW1P 4DE

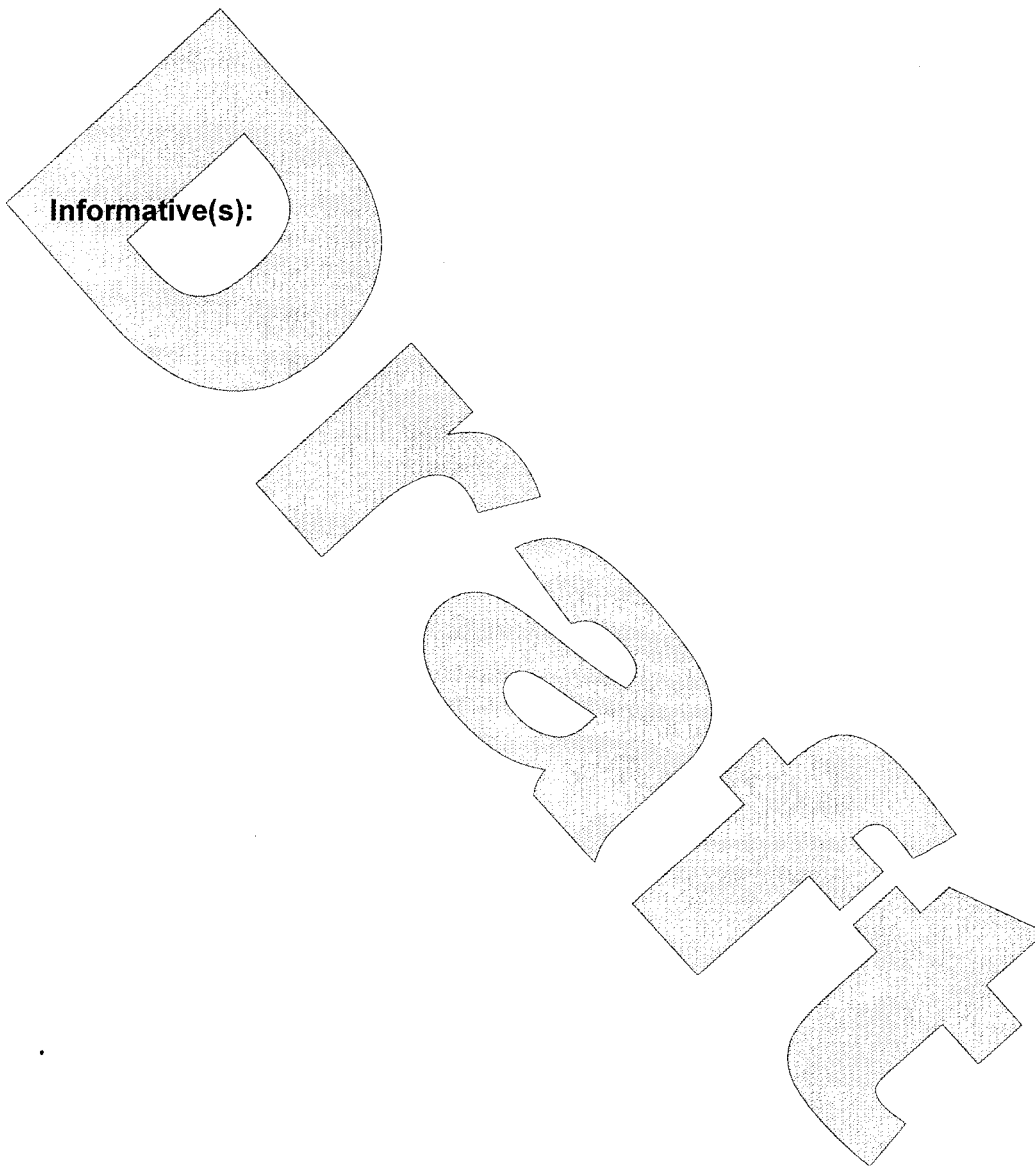
Proposal: Details of brick sample, the internal layout of the basement car park and storage of refuse pursuant to Conditions 1, 3 and 5 of outline permission dated 27 August 2009 (RN: 09/05002) for redevelopment of the site to provide 32 residential units, basement car parking and a new cleansing depot.

Plan Nos: 1257/P/00, 1257/P/11 Rev A, 1257/P/01 Rev A, 1257/P?07 Rev B, 1257/P/08 Rev A, 1257/P/09 Rev A.

Case Officer: Matthew Mason

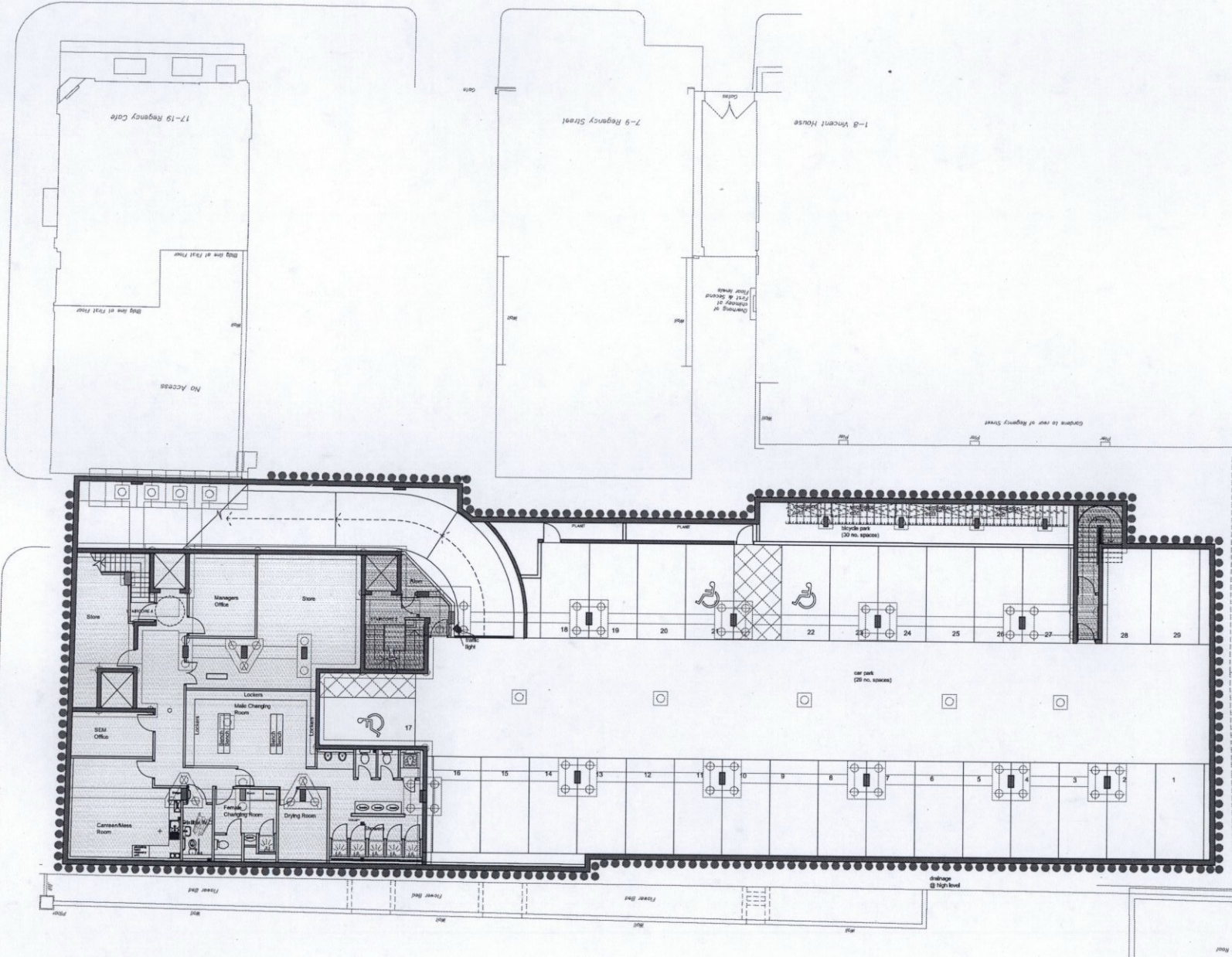
Direct Tel. No. 020 7641 2926





Unconditional or if an Advert Application only the standard advert conditions



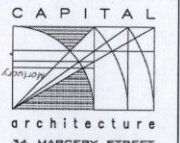
PAGE STREET

REGENCY STREET

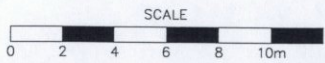
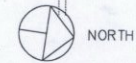


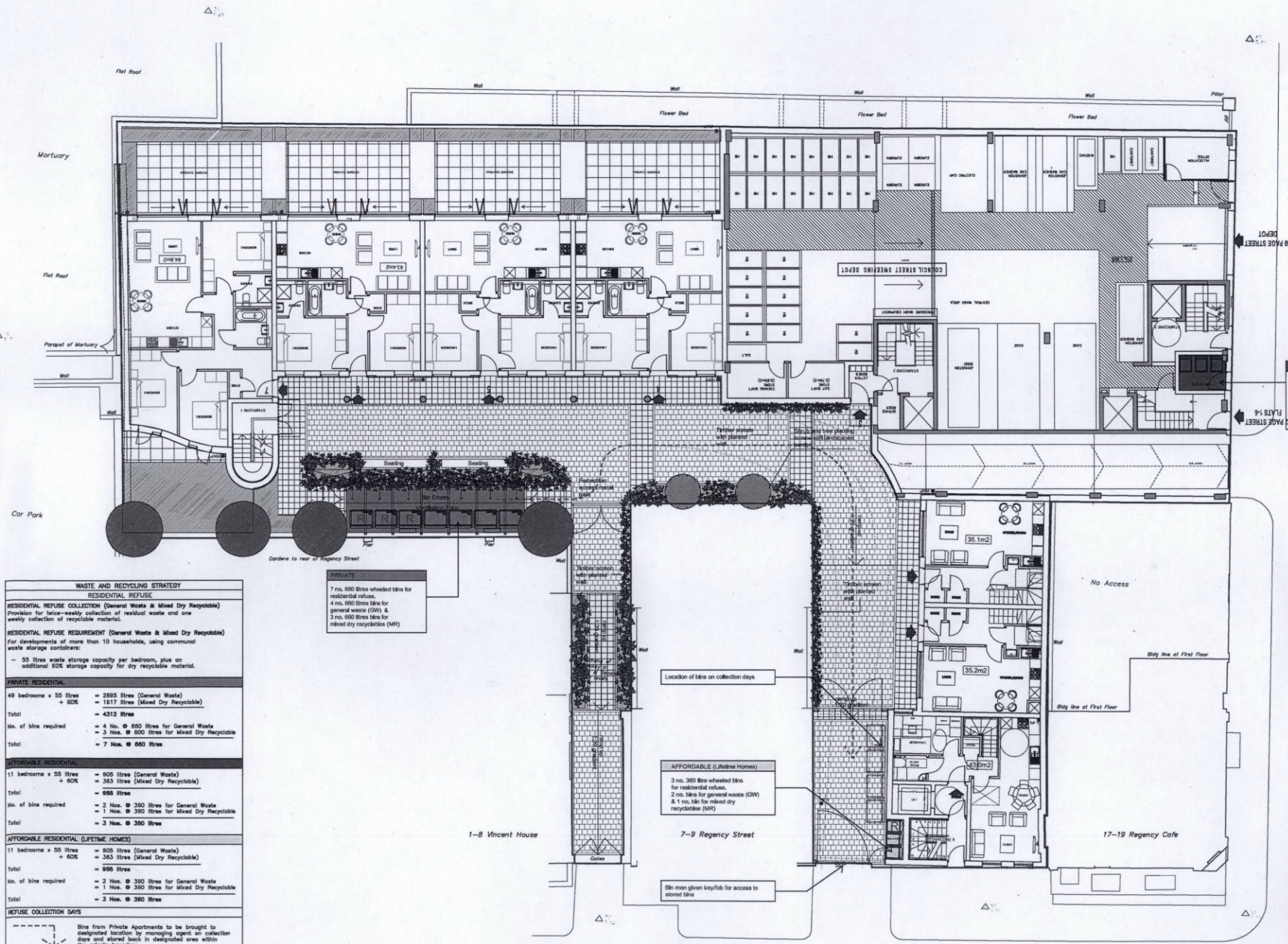
-  PRIVATE HOUSING
-  AFFORDABLE HOUSING
-  DEPOT
-  COMMON PARTS

Notes:
 Do Not Scale: All dimensions to be verified on site.
 CAD Code: -
 No: Date: A 15.05.15
 Revision: Internal layout to depot amended. Car parking layout & no. of spaces amended.
 Rev: -



Client: THORNSETT CENTRAL LTD.
 Project: 50 PAGE STREET AND 11-15 REGENCY STREET LONDON SW1
 Drawing: PROPOSED BASEMENT FLOOR
 Scale: 1:100 Date: OCT 2013
 Drawn: - Checked: -
 Drawing no: 1257/P/01 Rev: A
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WASTE AND RECYCLING STRATEGY	
RESIDENTIAL REFUSE	
RESIDENTIAL REFUSE COLLECTION (General Waste & Mixed Dry Recyclable) Provision for twice-weekly collection of residual waste and one weekly collection of recyclable material.	
RESIDENTIAL REFUSE REQUIREMENT (General Waste & Mixed Dry Recyclable) For developments of more than 10 households, using communal waste storage containers: - 55 litres waste storage capacity per bedroom, plus an additional 60% storage capacity for dry recyclable material.	
PRIVATE RESIDENTIAL	
49 bedrooms x 55 litres	= 2695 litres (General Waste)
+ 60%	= 1617 litres (Mixed Dry Recyclable)
Total	= 4312 litres
No. of bins required	= 4 Nos. @ 650 litres for General Waste
	= 3 Nos. @ 600 litres for Mixed Dry Recyclable
Total	= 7 Nos. @ 650 litres
AFFORDABLE RESIDENTIAL	
11 bedrooms x 55 litres	= 605 litres (General Waste)
+ 60%	= 363 litres (Mixed Dry Recyclable)
Total	= 968 litres
No. of bins required	= 2 Nos. @ 350 litres for General Waste
	= 1 Nos. @ 350 litres for Mixed Dry Recyclable
Total	= 3 Nos. @ 350 litres
AFFORDABLE RESIDENTIAL (LIFETIME HOMES)	
11 bedrooms x 55 litres	= 605 litres (General Waste)
+ 60%	= 363 litres (Mixed Dry Recyclable)
Total	= 968 litres
No. of bins required	= 2 Nos. @ 350 litres for General Waste
	= 1 Nos. @ 350 litres for Mixed Dry Recyclable
Total	= 3 Nos. @ 350 litres
REFUSE COLLECTION DAYS	
<p>Bin from Private Apartments to be brought to designated location by managing agent on collection days and stored back in designated area within the private boundary.</p>	

PRIVATE
7 no. 650 litre wheeled bins for residential refuse.
4 no. 600 litre bins for general waste (GW) & 3 no. 600 litre bins for mixed dry recyclables (MR)

Location of bins on collection days

AFFORDABLE (Lifetime Homes)
3 no. 350 litre wheeled bins for residential refuse.
2 no. bins for general waste (GW) & 1 no. bin for mixed dry recyclables (MR)

Bin men given key/fob for access to stored bins

AFFORDABLE
3 no. 350 litre wheeled bins for residential refuse.
2 no. bins for general waste (GW) & 1 no. bin for mixed dry recyclables (MR)
FLATS 1-6
55 PAGE STREET
Note: Access via FB2 key

Notes:
Do Not Scale: All dimensions to be verified on site.
CAD Order:
Rev. Date: 15.08.15
A 15.08.15 For planning issue.

CAPITAL
Architecture
104, MARLBOROUGH STREET
LONDON W1A 1AB
Tel: 020 7634 3000
Fax: 020 7634 3001

Client: THORNSETT GROUP PLC.
Project: 55 PAGE STREET AND 11-15 REGENCY STREET LONDON W1A
Drawing: REFUSE STRATEGY
Scale: 1:1000 Date: FEB 2014
Drawn: [Name] Checked: [Name]
Drawing No: 125/RY11 Rev: A

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PAGE STREET



Agenda Item 5

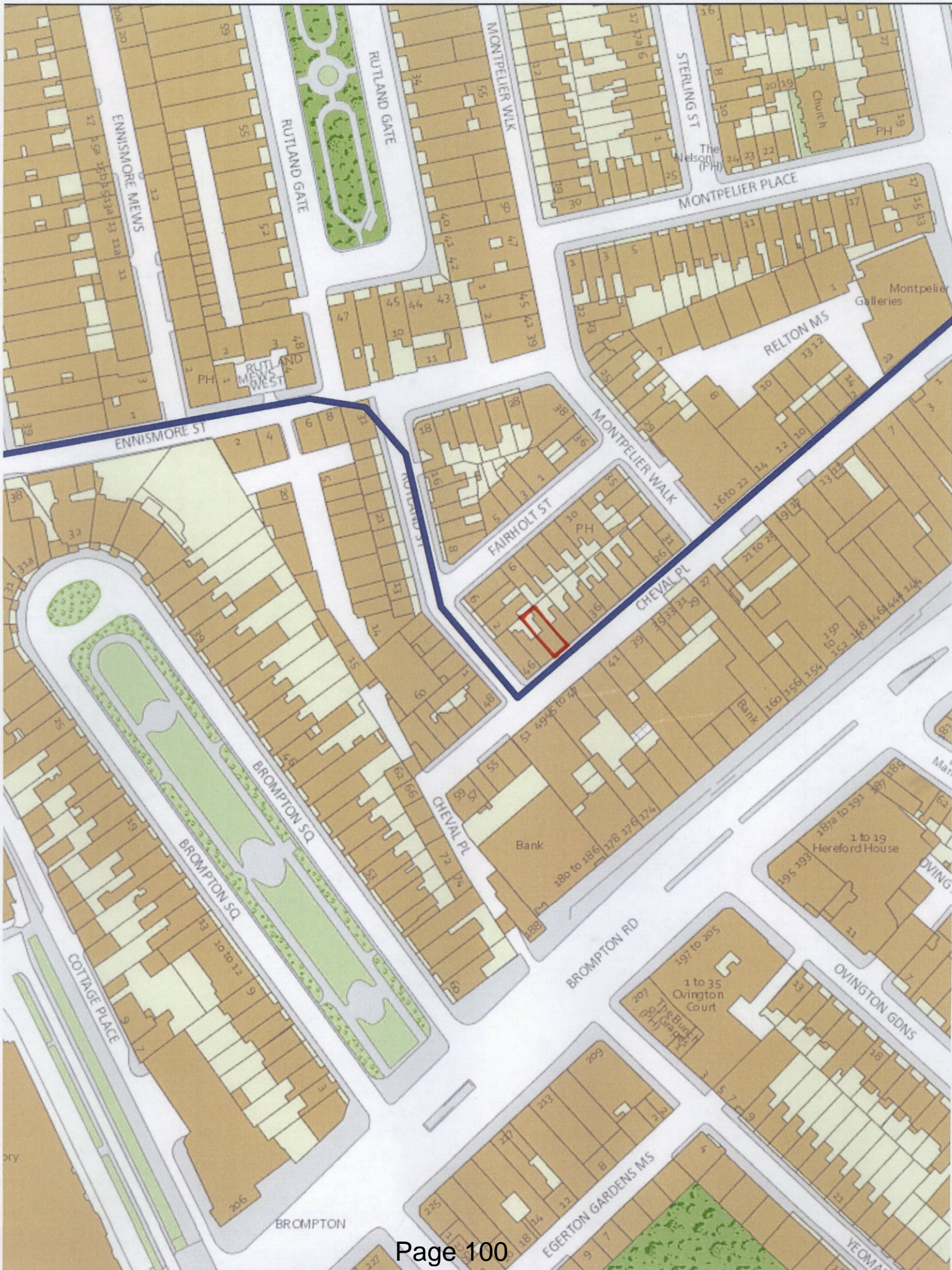
Item No.

5

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Report of Director of Planning	Wards involved Knightsbridge And Belgravia		
Subject of Report	42 Cheval Place, London, SW7 1ER		
Proposal	Excavation to create single storey basement extension and erection of a single storey ground floor rear extension.		
Agent	Rossco Property		
On behalf of	Mr Scot Harbert		
Registered Number	14/11830/FULL	TP / PP No	TP/7680
Date of Application	28.11.2014	Date amended/ completed	27.05.2015
Category of Application	Other		
Historic Building Grade	Unlisted		
Conservation Area	Knightsbridge		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Grant conditional permission.





42 CHEVAL PLACE, SW7

6.8 London Plan

The proposal does not raise strategic issues.

6.9 National Policy/Guidance Considerations

Central Government's NPPF came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. The City Plan was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

The proposal does not trigger any requirement for Planning Obligations.

6.11 Environmental Assessment including Biodiversity and Trees

There has been an objection that the proposal, along with other basement developments in the area, will increase flood risk and drainage issues.

The existing rear courtyard/ garden measures 3.3m x 4.2m and is predominately hard landscaped with the exception of two planting bed areas adjacent the side and rear boundary walls.

Gardens can play an important role in reducing the amount of water run-off from hard surfaces, allowing rain to drain naturally into the subsoil, which helps reduce flood risk. The proposed basement has been set back 0.5m from the rear boundary wall to allow for a permeable surface area to help reduce surface water run-off. This area would also have the capabilities of supporting shrub planting.

In the majority of cases, a minimum 1m soil plus 200mm drainage layer is required to provide sufficient soil volumes to allow for new tree and shrub planting. In this case, given the existing garden is relatively small and predominantly hard landscaped, the level of permeable surface proposed is considered to be acceptable.

6.12. Basement Excavation

The impact of the basement excavation is at the heart of concerns expressed by objectors. They are concerned that the excavation of new basements is a risky construction process with potential harm to the property and adjoining buildings.

2. SUMMARY

No. 42 Cheval Place is a mid terrace single family dwellinghouse comprising of ground and two upper floors. The property is located on the northern side of Cheval Place and within the Knightsbridge Conservation Area. The southern side of Cheval Place lies within the Royal Borough of Kensington and Chelsea.

Planning permission is sought for excavation to create a single storey basement extension and to erect a single storey ground floor rear extension.

The key issues in this case are:

- The impact on the character and appearance of the building and Knightsbridge Conservation Area.
- The impact on the amenity of neighbouring residents.

The proposed development is considered to be acceptable in land use, design and amenity terms and would accord with policies within the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (City Plan). As such, it is recommended that conditional planning permission is granted.

3. CONSULTATIONS

KNIGHTSBRIDGE ASSOCIATION

Object to the basement excavation going under the whole length of the garden and would like to see it reduced to 50%.

THE ROYAL BOROUGH OF KENSINGTON AND CHELSEA

No objection.

BUILDING CONTROL

The structural method statement is considered to be acceptable. An investigation of existing structures and geology has been undertaken and found to be of sufficient detail. The existence of groundwater, including underground rivers, has been researched and the likelihood of local flooding or adverse effects on the water table has been found to be negligible. The basement is to be constructed using RC underpinning which is considered to be appropriate for this site. The proposals to safeguard adjacent properties during construction are considered to be acceptable.

HIGHWAYS PLANNING MANAGER

No objection.

ENVIRONMENTAL HEALTH

No objection.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 19; Total No. of Replies: 1.

One objection from neighbour on the following grounds:

- Development is out of scale and character with host building and conservation area/ overdevelopment of site.
- Cumulative impact of basement developments pose a flood risk and drainage issues.
- No precedent for a full length basement development in Cheval Place.
- Insufficient landscaping and soil cover to support planting.
- Construction management issues should be carefully considered.

ADVERTISEMENT/SITE NOTICE: Yes.

SECOND CONSULTATION FOLLOWING REVISIONS TO REDUCE THE SIZE OF BASEMENT

KNIGHTSBRIDGE ASSOCIATION
No objection.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS
No. Consulted: 19; Total No. of Replies: 1.

One objection from neighbour reiterating their concerns previously expressed.

4. BACKGROUND INFORMATION

4.1 The Application Site

42 Cheval Place is a mid terrace single family dwellinghouse comprising of ground and two upper floors. The property is located on the northern side of Cheval Place and within the Knightsbridge Conservation Area. The southern side of Cheval Place lies within the Royal Borough of Kensington and Chelsea.

4.2 Relevant History

14 July 2015: Planning permission granted for erection of a single storey rear ground floor extension; first floor rear infill extension and enlargement of the terrace above at second floor level; alterations to the front elevation of the mansard roof and installation of rooflights at main roof level (14/12841/FULL).

12 January 2015: Lawful Development Certificate issued for excavation of single level basement under the existing property and amending existing drainage to suit (14/10898/CLOPUD).

5. THE PROPOSAL

Planning permission is sought for excavation to create a single storey basement extension and to erect a single storey ground floor rear extension.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The new basement and extension would create ancillary residential accommodation. In land use terms the creation of a larger single family dwellinghouse is acceptable and in accordance with Policies H3 of the UDP and S14 of the City Plan.

6.2 Townscape and Design

The proposed rear ground floor extension is comparable to others in the terrace and similar to the scheme approved in July 2015. As such, it does not raise any design issues.

The proposed basement will have no external visual impact apart from a rear lightwell which is positioned adjacent to the rear elevation and side boundary wall. This would not be visible from the public realm and as such will have limited impact on the appearance of the conservation area.

There has been an objection that the basement is out of scale and character with the host building and conservation area. The hierarchy of the building can provide a reason to resist a basement, however, this is usually where the dwelling is a simple two storey structure and the basement (maybe a double basement) would vastly alter the amount of living accommodation. The existing building is constructed over three floors and the basement therefore does not impact significantly on the building's hierarchy.

6.3 Amenity (Daylight/Sunlight/Noise/Sense of Enclosure)

Policies S29 of the City Plan and ENV13 of the UDP seek to protect residential amenity in terms of light, privacy, sense of enclosure and encourage development which enhances the residential environment of surrounding properties.

Given its subterranean location and limited external manifestations, the proposed basement would not materially impact on the amenity of neighbouring residents.

The new ground floor extension would project 1.5m from the rear building line and measure circa 2.6m in height. The extension is comparable to an existing ground floor rear extension next door at No.40. It is not considered to have any material impact on the amenity of neighbouring residents in terms of loss of light or increase in sense of enclosure.

A condition is recommended to prevent the use of the extension's roof for sitting out or for any other purpose except for emergency or maintenance purposes.

The proposal is considered to comply with Policies S29 and S32 in the City Plan and Policies ENV6 and ENV13 in the UDP.

6.4 Transportation/Parking

The premises will remain as an existing single family dwelling and there will be no additional impact on on-street parking in the area.

6.5 Access

There are no changes to the existing access into the single family dwellinghouse.

6.6 Economic Considerations

The economic benefits generated by the development are welcomed.

6.7 Other UDP/Westminster Policy Considerations

Whilst it is inevitable that the development of the site would result in some disturbance to neighbouring occupiers, it is not considered that it would be reasonable to impose more stringent hours of work controls than would normally be imposed in relation to this type of development.

It is acknowledged that the new accommodation at basement level may not meet recommended guidelines with regards to natural light and ventilation. The plans show that the new accommodation will provide a family room, laundry and utility room, and plant area, and will not be used for primary habitable purposes, such as a bedroom. The proposals are acceptable on the basis that the new basement is used as ancillary accommodation in connection with a large single family dwellinghouse.

Studies have been undertaken which advise that subterranean development in a dense urban environment, especially basements built under existing vulnerable structures is a challenging engineering endeavour and that in particular it carries a potential risk of damage to both the existing and neighbouring structures and infrastructure if the subterranean development is ill-planned, poorly constructed and does not properly consider geology and hydrology.

While the Building Regulations determine whether the detailed design of buildings and their foundations will allow the buildings to be constructed and used safely, the NPPF March 2012 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by land instability.

The NPPF goes on to state that in order to prevent unacceptable risks from land instability, planning decisions should ensure that new development is appropriate for its location. It advises that where a site is affected by land stability issues, responsibility for securing a safe development rests with the developer and/or landowner.

The NPPF advises that planning decisions should ensure that a site is suitable for its new use taking account of ground conditions and land instability and any proposals for mitigation, and that adequate site investigation information, prepared by a competent person, is presented.

Officers consider that in the light of the above it would be justifiable to adopt a precautionary approach to these types of development where there is a potential to cause damage to adjoining structures. To address this, the applicant has provided a structural engineer's report explaining the likely methodology of excavation. Any report by a member of the relevant professional institution carries a duty of care which should be sufficient to demonstrate that the matter has been properly considered at this early stage.

The purpose of such a report at the planning application stage is to demonstrate that a subterranean development can be constructed on the particular site having regard to the site, existing structural conditions and geology. It does not prescribe the engineering techniques that must be used during construction which may need to be altered once the excavation has occurred. The structural integrity of the development during the construction is not controlled through the planning system but through Building Regulations and the Party Wall Act.

This report has been considered by our Building Control officers who advised that the structural approach and consideration of the local hydrology appears satisfactory. We are not approving this report or conditioning that the works shall necessarily be carried out in accordance with the report. Its purpose is to show, with the professional duty of care, that there is no reasonable impediment foreseeable at this stage to the scheme satisfying the Building Regulations in due course. This report will be attached for information purposes to the decision letter. It is considered that this is as far as we can reasonably take this matter under the planning considerations of the proposal as matters of detailed engineering techniques and whether they secure the structural integrity of the development and neighbouring buildings during construction is not controlled through the planning regime but other statutory codes and regulations as cited above. To go further would be to act beyond the bounds of planning control.

The Council adopted its supplementary planning document on basement extension in November 2014. The document is a material consideration in assessing basement extensions; however, the document does not include any new planning policy which restricts the extent to which basements can be constructed but supports the implementation of adopted policies in the Council's development plan. It provides guidance on information that needs to be submitted and how planning applications will be assessed in relation to the adopted policy framework. The Council has yet to formally introduce a basement policy which

limits the extent to which basements can be built. The Council can only assess the proposed basement in terms of ensuring it can be undertaken without causing harm to adjoining properties.

Construction Management

The Construction Management Plan (CMP) submitted as part of the application is considered acceptable. The document demonstrates how the basement will be excavated and the proposed measures to minimise disruption are considered appropriate to this site. A condition is recommended to ensure that the proposed works are carried out in compliance with the CMP.

Whilst it is recognised that there will inevitably be an element of disturbance to residents, particularly during the construction of the new basement, conditions are recommended to restrict the hours of building works in order to mitigate the impact on nearby residential occupiers. It is considered that works can be adequately controlled by use of the City Council's standard hours of work condition, which includes additional controls to prevent excavation works at weekends and on bank holidays. It is not considered reasonable, however, to restrict all construction works to Monday to Friday only.

An Informative is also recommended to encourage the applicant to join the nationally recognised Considerate Constructors Scheme as well as keeping residents informed concerning the works.

7. CONCLUSION

For the reasons set out in this report, the proposed development is considered acceptable, subject to the recommended conditions, and would accord with the relevant land use, design, and amenity policies within the UDP and City Plan.

BACKGROUND PAPERS

1. Application form.
2. Letters from the Knightsbridge Association dated 26.02.15 and 06.08.15.
3. Letter from The Royal Borough of Kensington and Chelsea dated 04.02.15.
4. Memo from Environmental Health dated 08.01.15.
5. Memo from Highways Planning Manager dated 20.01.2015.
6. Email from Building Control dated 25.08.15
7. Letter and email from owner/occupier of 2 Rutland Street dated 04.03.15 and 04.08.15

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT MATTHEW MASON ON 020 7641 2926 OR BY E-MAIL – mmason@westminster.gov.uk

DRAFT DECISION LETTER

- Address:** 42 Cheval Place, London, SW7 1ER
- Proposal:** Excavation to create single storey basement extension and erection of a single storey ground floor rear extension.
- Plan Nos:** Site Plan, 1-001 02, 1-002 02, 1-003 02, 1-010 02, 1-020 02, 1-101 03, 1-102 02, 1-103 02, 1-110 03, 1-111 03, 1-120 01, 1-121 01, 080; Design and Access Statement Rev 01; Flood Risk Assessment; Photo Sheet; Construction Method Statement; Construction Management Plan; Sustainable Design and Energy Statement.
- Case Officer:** David Dorward **Direct Tel. No.** 020 7641 2408

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for basement excavation work, you must carry out any building work which can be heard at the boundary of the site only:
- * between 08.00 and 18.00 Monday to Friday;
 - * between 08.00 and 13.00 on Saturday; and
 - * not at all on Sundays, bank holidays and public holidays.

You must carry out basement excavation work only:

- * between 08.00 and 18.00 Monday to Friday; and
- * not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11BA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary

Development Plan that we adopted in January 2007. (R26BE)

- 4 You must not use the roof of the ground floor extension for sitting out or for any other purpose. You can however use the roof to escape in an emergency.

Reason:

To protect the privacy and environment of people in neighbouring properties, as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21AC)

- 5 You must carry out the development including any works of demolition, in accordance with the submitted construction management plan unless you apply to us and we approve an alternative construction management plan prior to commencement of development, including works of demolition. If we approve an alternative construction management plan you must then carry out the development, including any works of demolition, in accordance with the alternative construction management plan we approve.

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, siteenquiries@ccscheme.org.uk or visit www.ccscheme.org.uk.
- 3 You will have to apply separately for a licence for any structure that overhangs the road or pavement. For more advice, please phone our Highways section on 020 7641 2642. (I10AA)

- 4 Under the Highways Act 1980 you must get a licence from us before you put skips or scaffolding on the road or pavement. It is an offence to break the conditions of that licence. You may also have to send us a programme of work so that we can tell your neighbours the likely timing of building activities. For more advice, please phone our Highways Licensing Team on 020 7641 2560. (I35AA)
- 5 You must apply for a licence from our Highways Licensing Team if you plan to block the road or pavement during structural work to support the building. Your application will need to show why you cannot support the building from private land. For more advice, please phone 020 7641 2560. (I36AA)
- 6 The construction manager should keep residents and others informed about unavoidable disturbance such as noise, dust and extended working hours, and disruption of traffic. Site neighbours should be given clear information well in advance, preferably in writing, perhaps by issuing regular bulletins about site progress.
- 7 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work.

Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

24 Hour Noise Team
Environmental Health Service
Westminster City Hall
64 Victoria Street
London
SW1E 6QP

Phone: 020 7641 2000

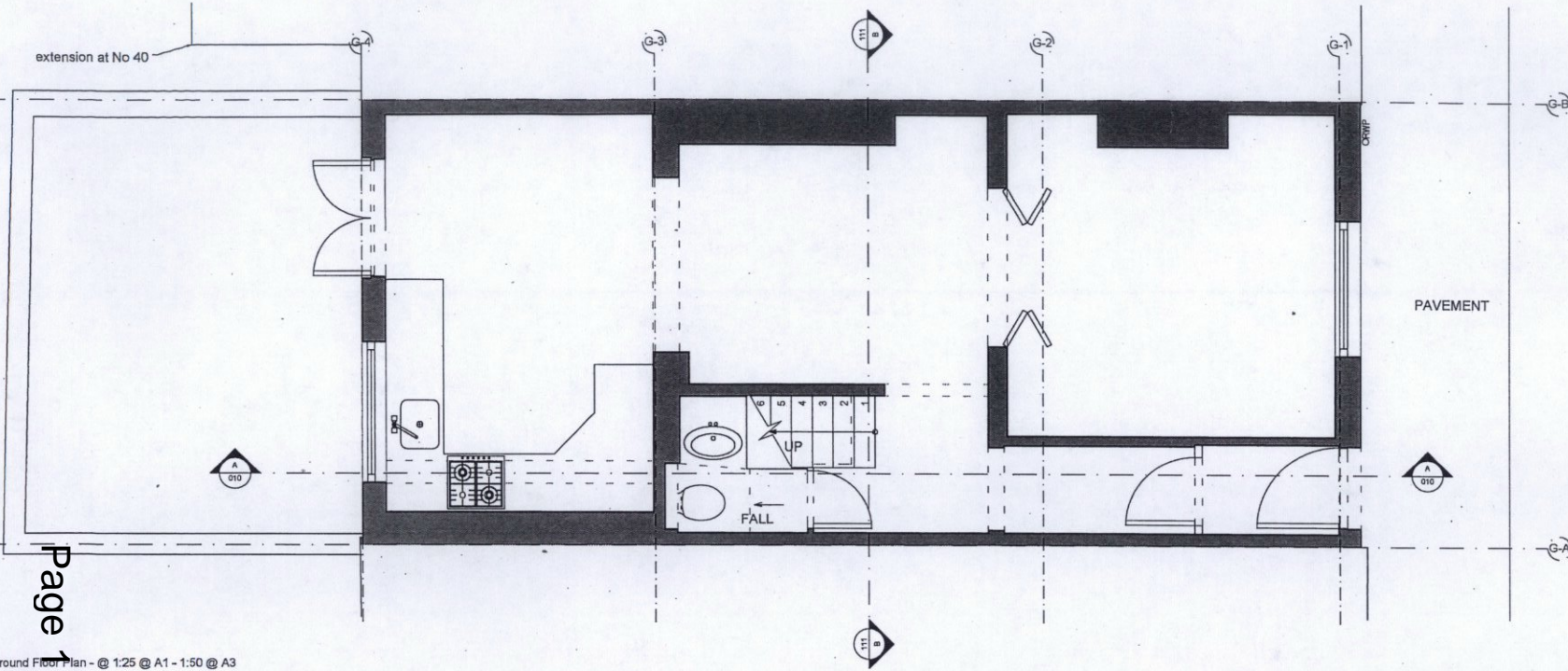
Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (I50AA)

- 8 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.

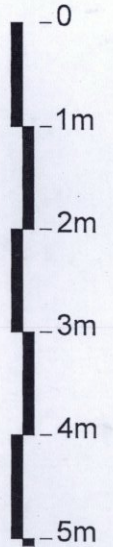
- 9 The proposed basement shows a plant area. This permission does not permit the installation of any new external mechanical plant or vents that would allow for the ventilation of any internal plant. Therefore a separate planning application accompanied by an acoustic report would be required for either external plant or vents.
- 10 You are advised that if you choose to submit an alternative construction management plan to that which you are required by Condition 5 to carry out the development in accordance with; the alternative construction management plan must include the following details (where appropriate):
- (i) a construction programme including a 24 hour emergency contact number;
 - (ii) parking of vehicles of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
 - (iii) locations for loading/unloading and storage of plant and materials used in constructing the development;
 - (iv) erection and maintenance of security hoardings (including decorative displays and facilities for public viewing, where appropriate);
 - (v) wheel washing facilities and measures to control the emission of dust and dirt during construction; and
 - (vi) a scheme for recycling/disposing of waste resulting from demolition and construction works.

extension at No 40

NOTES
Do not work. Contractor or subcontractor to check all dimensions on site before building or manufacture.
Any discrepancies between site, drawing or specification to be reported to the architect immediately.



PAVEMENT



Existing Ground Floor Plan - @ 1:25 @ A1 - 1:50 @ A3

Page 112

20/11/2014	02	Issued For Planning
20/11/2014	01	Issued For Sign Off
20/11/2014	00	Final Issue
DATE		

Cruise Goodall
Architecture & Design

25 CHALDON ROAD LONDON SW8 7NH
T: 07725 258 735 E: vgoodall@gmail.com

Roscco

SITE
42 Cheval Place

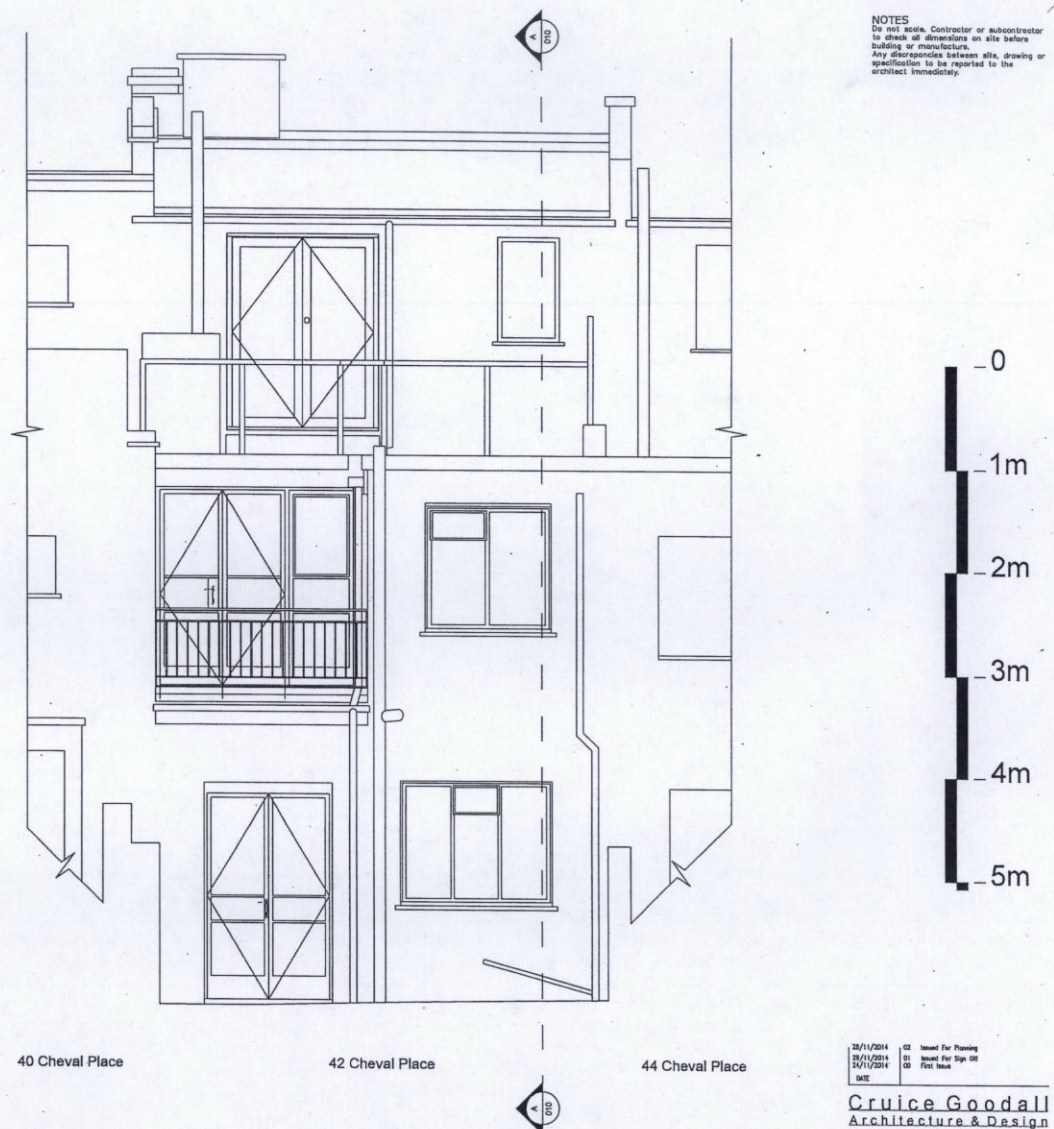
DRAWING
Existing
Ground Floor

SCALE @ A1	DATE	DRAWN
1:25	Nov 2014	PS

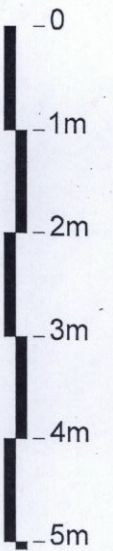
JOB No.	DWG. No.	REVISION
068	1-001	02



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NOTES
Do not build. Contractor or subcontractor to check all dimensions on site before building or manufacture. Any discrepancies between site, drawing or specification to be reported to the architect immediately.



22/11/2014	02	Issued For Planning
22/11/2014	01	Issued For Sign Off
24/11/2014	00	First Issue
DATE		

Cruise Goodall
Architecture & Design
25 CHALDON ROAD LONDON SW6 7NH
T: 07725 208 735 E: hugoodall@gmail.com

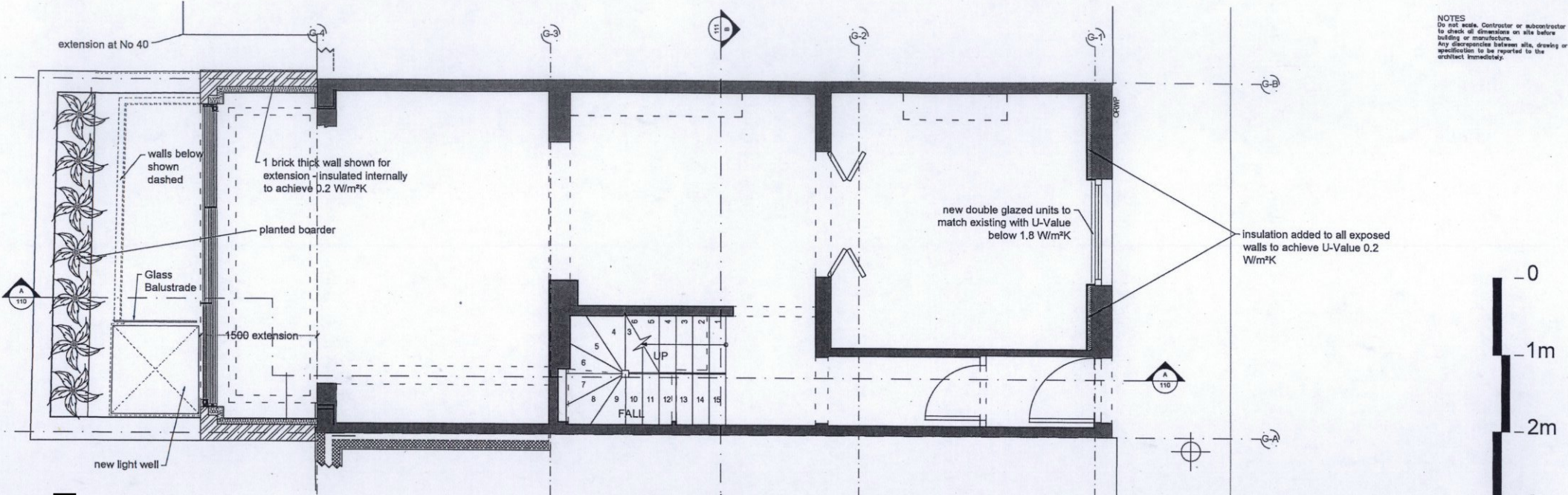
Roscco
SITE
42 Cheval Place

DRAWING
Existing
Front and Rear Elevations

SCALE # A1 DATE DRAWN
1:25 Nov 2014 PS

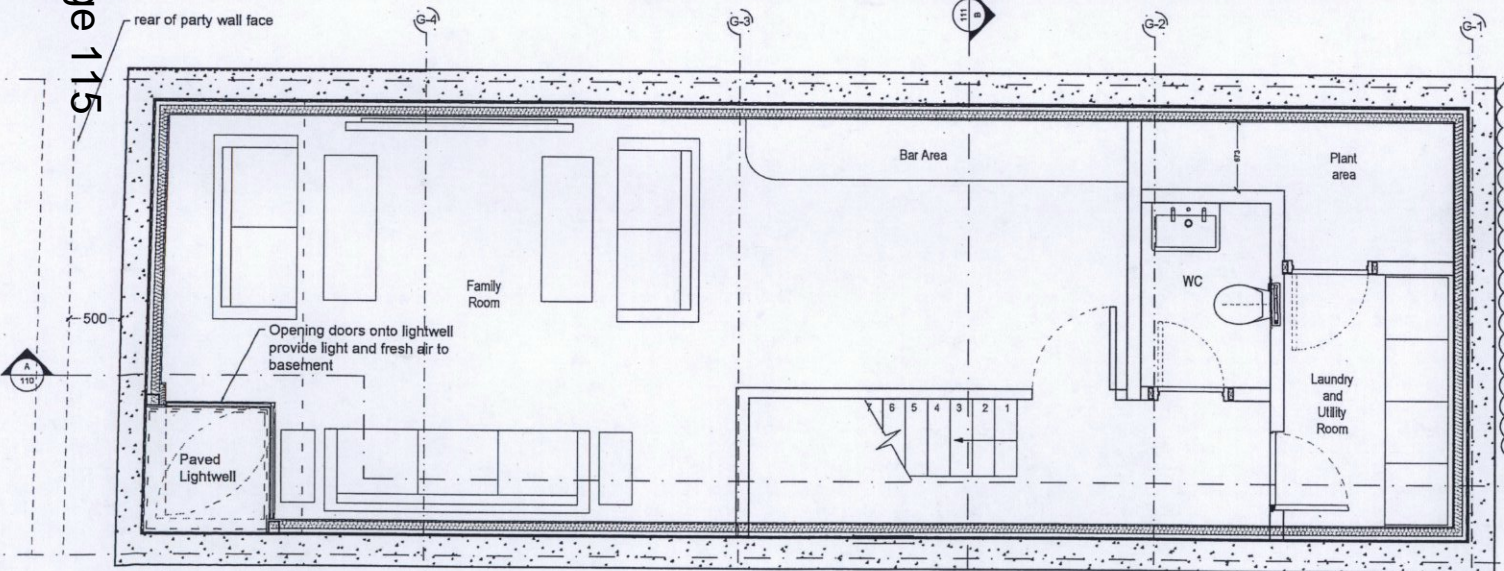
JOB No. DWG. No. REVISION
068 1-020 02

NOTES
 Do not scale. Contractor or subcontractor to check all dimensions on site before building or manufacture.
 Any discrepancies between this drawing or specification to be reported to the architect immediately.



Proposed Ground Floor Plan - @ 1:25 @ A1 - 1:50 @ A3

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Proposed Basement Floor Plan - @ 1:25 @ A1 - 1:50 @ A3

15/07/2015
 Following recent phone and email exchanges with the allocated Planning Officer we have amended our plans and section drawings to show a strip of 500mm of free draining soil to the end of the plot. This planted area will allow rainwater from the bed itself but also the paved areas to infiltrate the soil, thus reducing the impact of rain fall on Surface Water Flood Risk Hot spot 8. This strip of permeable soil will also pull the line of number 42's basement away from the boundary and in particular away from the basement at number 6 Fairholt Street, as well as number 2-4 Rutland Street's lower ground floor. In addition to the above, the planted area will also provide some softening to the ground floor terrace area, whilst also maintaining and improving the planting area currently present at number 42 Cheval Place, in accordance with Supplementary planning guidance recommendations.

15/07/2015	03	Amendment for Planning
25/11/2014	02	Issue for Planning
25/11/2014	01	Issue for Sign Off
24/11/2014	00	Final Issue
DATE		

Cruise Goodall
 Architecture & Design
 25 CHALDON ROAD LONDON SW9 7NH
 T: 07726 208 735 E: bcgoodall@gmail.com

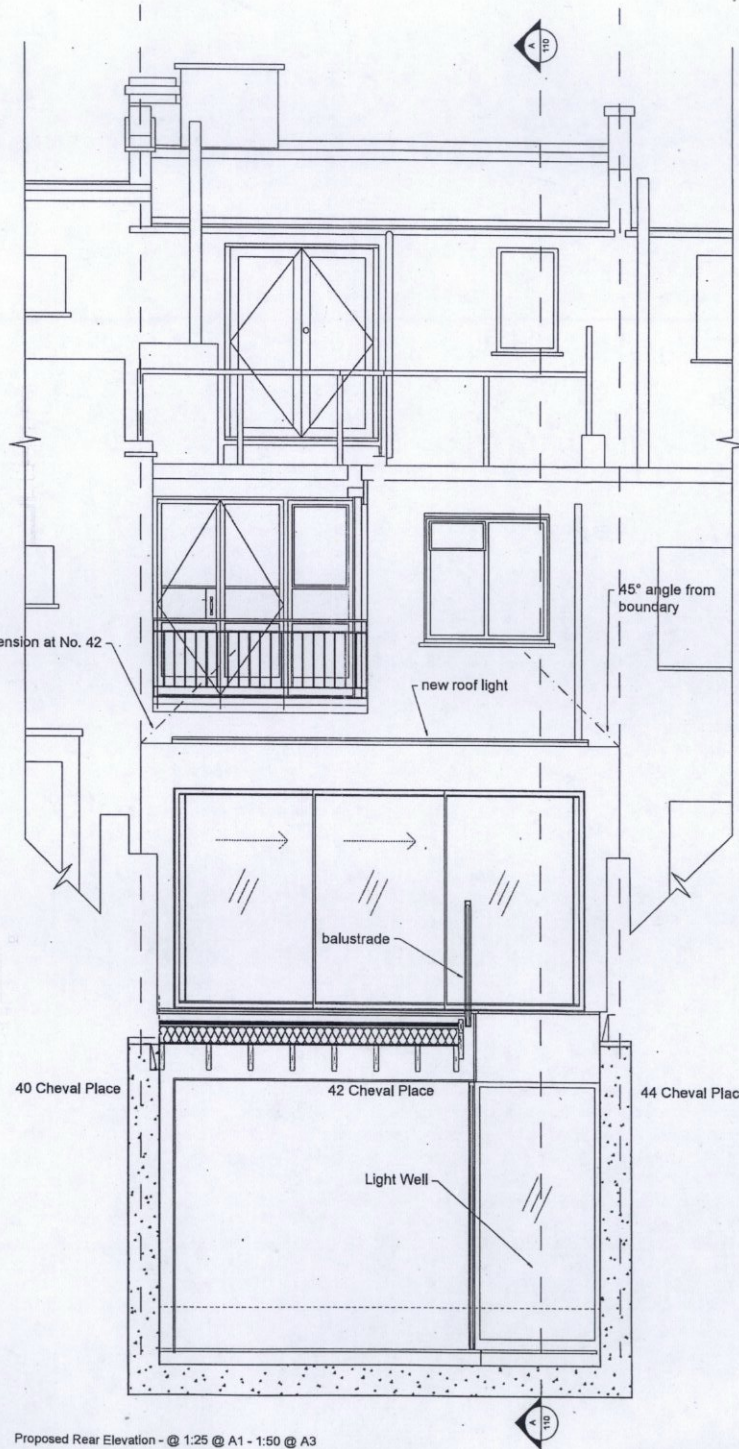
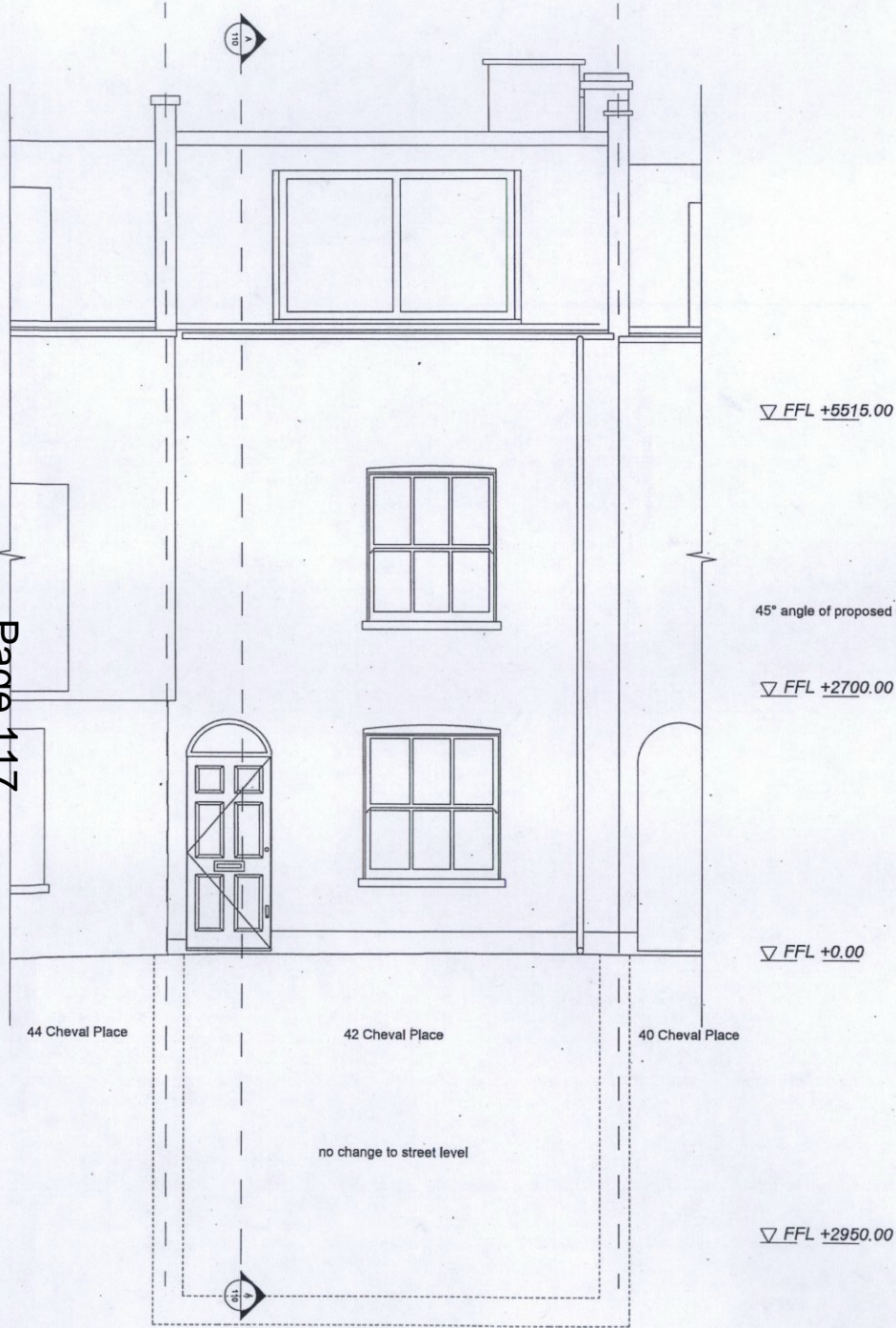
Roscco

SITE
 42 Cheval Place

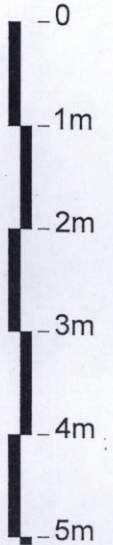
DRAWING
 Proposed
 Basement and Ground

SCALE @ A1 DATE DRAWN
 1:25 Nov 2014 PS

JOB No. DWG. No. REVISION
 068 1-101 03



NOTES
 Do not scale. Contractor or subcontractor to check all dimensions on site before building or manufacture. Any discrepancies between this drawing or specification to be reported to the architect immediately.



10/03/2015 01 Amendment For Printing
 14/11/2014 02 For Issue
Cruise Goodall
 Architecture & Design
 25 CHALDON ROAD LONDON SW8 7NH
 T: 07725 208 735 E: bgoodall@gmail.com

Roscco

SITE
 42 Cheval Place

DRAWING
 Proposed
 Front and Rear Elevations

SCALE @ A1 DATE DRAWN
 1:25 Nov 2014 PS

JOB No. DWG. No. REVISION
 068 1-120 01

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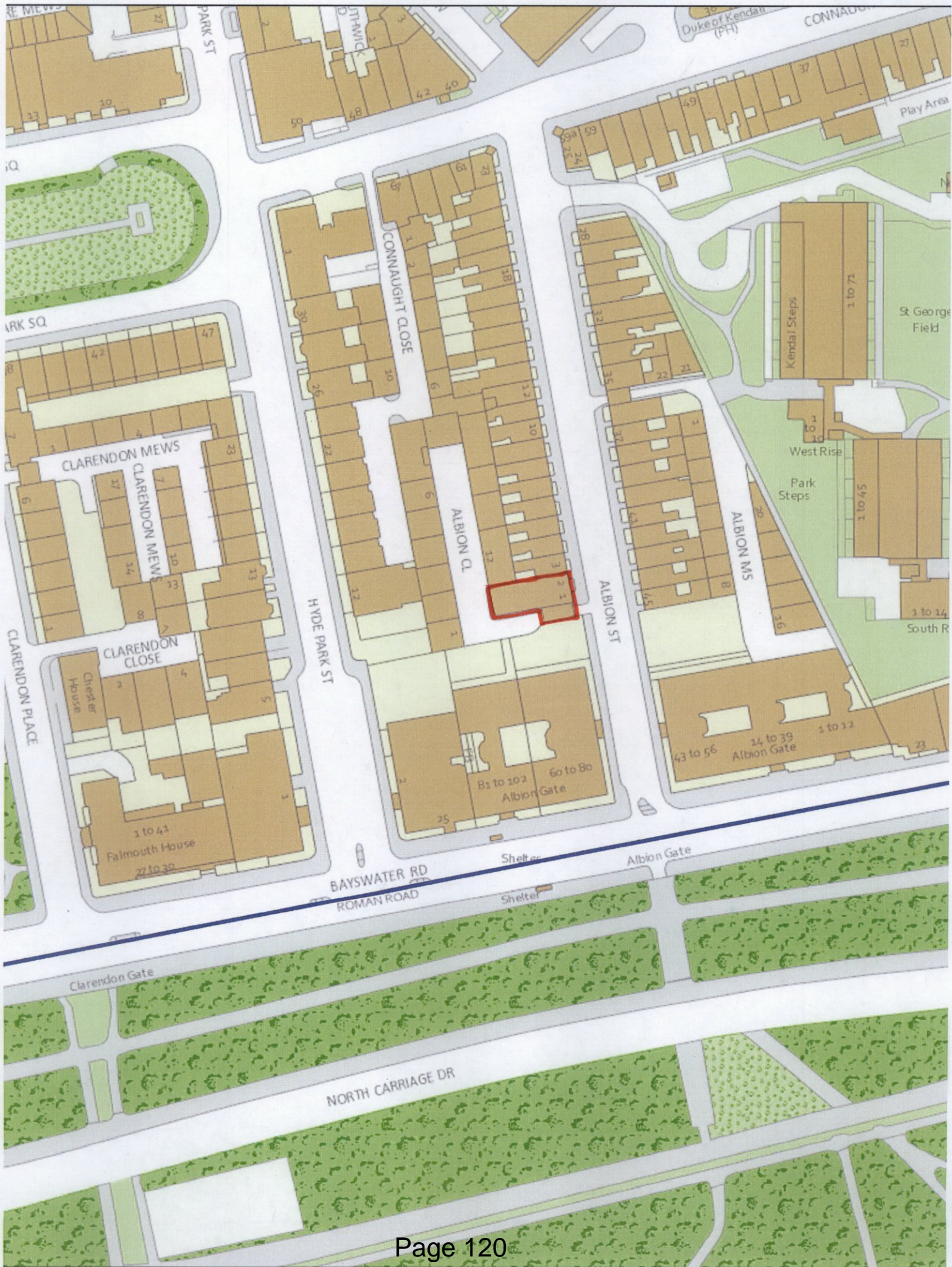
Agenda Item 6

Item No.
6

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Report of Director of Planning		Wards involved Hyde Park	
Subject of Report	1 - 2 Albion Street, London, W2 2AS		
Proposal	Partial demolition of mews property and associated internal alterations; erection of mansard roof extension to rear mews property; installation of lift to first floor level; installation of replacement timber front door and sash windows to rear elevation; installation of timber door to ground floor side elevation and two new first floor timber sash windows; and installation of rooflights, incorporating glazed skylight at second floor level.		
Agent	Weightman & Bullen		
On behalf of	CR London Ltd		
Registered Number	15/04801/FULL 15/04802/LBC	TP / PP No	TP/3450
Date of Application	29.05.2015	Date amended/ completed	10.06.2015
Category of Application	Other		
Historic Building Grade	Grade II Listed Building		
Conservation Area	Bayswater		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

1. Grant conditional permission and conditional listed building consent.
2. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.





1-2 ALBION STREET, W2

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2. SUMMARY

The buildings at Nos.1 and 2 Albion Street form a single dwellinghouse located on the west side of the street. The property is a Grade II listed building and is located within the Bayswater Conservation Area.

The current proposal has been amended during the course of the application and now includes the introduction of a lift within part of the former No.2 Albion Street, which runs between lower ground floor and first floor (originally it had been proposed to rise to third floor with an overrun above), and the rebuilding of much of the interior of the rear wing, including the removal of the current mansard roof to increase its height and create an additional storey. A number of internal alterations are also proposed.

The key issues for consideration are:

- The impact of the works on the special interest (significance) of the listed building.
- The impact on the character and appearance of the Bayswater Conservation Area.
- The impact on the amenity of neighbouring residents.

The proposals are considered to comply with the Council's policies in relation to design, conservation and amenity as set out in Westminster's City Plan: Strategic Policies (the City Plan) and the Unitary Development Plan (UDP) and the applications for planning permission and listed building consent are recommended for approval.

3. CONSULTATIONS

HYDE PARK ESTATE ASSOCIATION

Any response to be reported verbally.

HISTORIC ENGLAND

Expressed some concerns with the original proposals, but having reviewed amended scheme have provided authorisation to determine the listed building consent application as we see fit.

NATIONAL AMENITY SOCIETIES

Received response from Council for British Archaeology who felt the original proposals appeared ill-considered and that the Council should seek a revised and improved scheme.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 75; Total No. of Replies: 8.

Eight letters received raising objection on all or some of the following grounds:

- Overlooking/loss of privacy.
- Construction Management Plan should be provided due to constrained mews location.
- Noise and vibration from lift.
- The need for a Waste Management Plan.
- Noise and disturbance from construction works.

ADVERTISEMENT/ SITE NOTICE: Yes.

4. BACKGROUND INFORMATION

4.1 The Application Site

The application site comprises Nos.1 and 2 Albion Street, which form a single dwellinghouse located on the west side of the street. The property is a Grade II listed building and is located within the Bayswater Conservation Area. Originally two houses, dating from the 1830s, the

building comprises lower ground floor, ground floor and three upper storeys. An arched carriageway entrance runs through No.1 Albion Street and provides access into Albion Close (formerly Albion Mews West), which is a private mews road, running to the rear of Albion Street. A three storey rear wing extends into Albion Close.

Although originally two separate houses, each with its own rear wing extending back onto the mews, the properties have been merged, probably in the 1950s/60s and as a consequence a number of internal alterations have taken place, which have eroded the historic and architectural interest of these buildings. Some of the alterations that have taken place include the removal of the front entrance door to No.2, the removal of the main staircase from No.2 and the formation of numerous openings in the party wall between the two properties. The rear wing onto Albion Close has also been modified, initially in the 1970s and then again with the addition of a mansard roof extension in the 1990s.

4.2 Relevant History

3 August 1989 – Planning permission and listed building consent were granted for 'Construction of a rear extension at first floor level for residential purposes' (88/06173 & 88/06174).

25 March 1993 – Planning permission and listed building consent were granted for 'Construction of mansard roof extension at first floor level to rear' (93/0154A & 93/0155A).

5. THE PROPOSAL

The current proposal has been amended during the course of the application and following amendment proposes the introduction of a lift within part of the former No.2 Albion Street, which runs between lower ground floor and first floor (originally it had been proposed to rise to third floor with an overrun above), and the rebuilding of much of the interior of the rear wing, including the removal of the current mansard roof to increase its height and create an additional storey. A number of internal alterations are also proposed.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The building is currently in use as a single residential dwelling and there are no proposals to alter this use and as such the application does not raise any land use issues.

6.2 Townscape and Design

While the original lift proposal was considered harmful, as revised the lift will largely be contained within the existing building envelope and will run up through a part of No.2 Albion Street that has been heavily altered. As such, in its revised form, the lift would have no harmful impact on the significance of the listed building or upon the wider conservation area.

The main external alteration will be the enlargement of the rear wing. The proposals will remove the internal floor structure and the existing mansard roof and raise the brick parapet slightly and then add a new mansard storey. The alterations will increase the size of the rear wing so that it matches most of the other buildings in Albion Close. The only difference will be that as a corner building the mansard will return onto the side elevation. As part of the works, new windows will be installed in the brickwork. The new mansard will be pitched to both front and rear and will feature one dormer window in the rear. An existing conservatory roofed structure at the back of No.2 and on the party wall with No.3 Albion Street will be rebuilt. The rear wing which faces onto Albion Close has been much altered both externally and internally and as such there is minimal historic fabric of significance that remains. In these

circumstances the key issue is the impact of the proposals on the character and appearance of the area and upon the amenity of neighbours. In townscape terms the proposal would bring the scale of the wing to a consistent height and form as other buildings immediately adjacent and as such is considered acceptable.

The internal alterations have been modified and now ensure that the historic floor plan and fabric that survives is largely retained.

Overall, the proposals are considered acceptable in design terms and would accord with Policies S25 and S28 of the City Plan, and DES 1, DES 5, DES 6, DES 9 and DES 10 of the UDP.

6.3 Amenity

The alterations to the rear wing, bringing its height up to that of the other buildings in Albion Close, will introduce greater height and bulk to this part of the site and this would be most appreciable to the properties directly opposite the site in Albion Close, notably Nos.1, 2 and 3 Albion Close; as well as the property immediately to the north, No.3 Albion Street. There would be an increase in height of the mansard roof of approximately 1.2m.

The proposed mansard will breach the 25 degree angle of obstruction when measured 2.0m above ground level in respect of the mews houses opposite in Albion Close. Whilst there will be loss of daylight and an increase in sense of enclosure to the ground floor level windows and to a lesser extent the first floor windows of these properties, given the distance that separates these properties and the presence of similar mansards in the mews immediately to the north of the application site, it is not considered that this impact is so significant so as to warrant refusal of permission.

The worst affected property is No.3 Albion Street. The proposal will result in loss of sunlight and increased sense of enclosure to the existing windows in the rear elevation. Whilst it has not been possible to gain access inside this property, the impact of the proposed roof extension has been assessed on site.

The proposed mansard where it turns the corner is hipped at the rear, in order to reduce its impact. Given the rear windows of No.3 are shallow projecting bays and therefore will receive light from more than one of the sides of the bays, it is not considered the proposal will result in a material loss of sunlight. The proposal will result in an increased sense of enclosure, but the amendment of the scheme to incorporate a hipped roof slope to the rear is considered to be sufficient to ensure that the proposed mansard roof extension to the mews facing element of the building is acceptable on balance in amenity terms.

There is a dormer window which is proposed to be located in the rear roof pitch of the new mansard and while there will be limited overlooking from this into the rear windows of No.3 Albion Street, it is proposed to require the glass in this window to be obscure to prevent any overlooking.

Overall, the proposals are considered to be acceptable with respect to impact on amenity and would accord with S29 in the City Plan and ENV13 in the UDP.

6.4 Transportation/Parking

There are no transportation issues which arise from the proposal.

6.5 Economic Considerations

There are no economic considerations which arise from the proposal.

6.6 Equalities and Diversities (including Access)

The scheme does not alter the existing means of access to this private dwellinghouse.

6.7 Other UDP/Westminster Policy Considerations

There are no other policy considerations which arise from the proposal.

6.8 London Plan

The proposals do not raise strategic issues.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

The proposals are of insufficient scale to generate a requirement for any planning obligations.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

The proposals are of insufficient scale to require an environmental assessment.

6.12 Other Issues

A number of objectors have raised concerns regarding the impact of the construction works on the access to and from the private mews to the rear of the site and ask that a Construction Management Plan (CMP) is sought. However, the works proposed are not of a scale that would necessitate a CMP and typically these are only imposed on basement development or other development requiring a high volume of vehicle movements and/or long periods of noise excavation works. The works proposed would be located on the existing building and should not have any significant impact on the highway during construction. Furthermore, as Albion Close is a private mews, the effects of construction work on this mews is beyond the City

Council's control and is rather a matter for agreement between the applicant and the owner(s) of Albion Close.

7. CONCLUSION

The proposal is considered acceptable in terms of townscape and design, and in terms of impact upon residential amenity and would accord with Policies DES 1, DES 5, DES 6, DES 9, DES 10 and ENV 13 in the UDP, and S25, S28 and S29 in the City Plan.

BACKGROUND PAPERS

1. Application forms.
2. Letter from Historic England dated 7 July 2015.
3. Authorisation letter from Historic England dated 7 July 2015.
4. Email from the Council for British Archaeology dated 10 July 2015.
5. Email from the owner/occupier of 6 Albion Close dated 26 June 2015.
6. Email from the owner/occupier of 2 Albion Close dated 4 July 2015.
7. Email from the owner/occupier of 12 Albion Close dated 4 July 2015.
8. Email from the owner/occupier of 44 Albion Street dated 5 July 2015.
9. Email from the owner/occupier of 6 Albion Close dated 15 July 2015.
10. Email from the owner/occupier of 11 Albion Close dated 15 July 2015.
11. Email from the owner/occupier of 11 Albion Close dated 15 July 2015.
12. Email from the owner/occupier of 7 Albion Close dated 16 July 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT OLIVER GIBSON ON 020 7641 2680 OR BY E-MAIL – ogibson@westminster.gov.uk

DRAFT DECISION LETTER

Address: 1 - 2 Albion Street, London, W2 2AS

Proposal: Partial demolition of mews property and associated internal alterations; erection of mansard roof extension to rear mews property; installation of lift to first floor level; installation of replacement timber front door and sash windows to rear elevation; installation of timber door to ground floor side elevation and two new first floor timber sash windows; and installation of rooflights, incorporating glazed skylight at second floor level.

Plan Nos: 5807-01 (site location plan); 5807-100/P; 5807-101/P; 5807-102/P1; 5807-103/P2; 5807-104/P2; 5807-105/P1; 5807-106/P; 5807-107/P1; 5807-108/P2; 5807-109/P2; 5807-200/P1; 5807-201/P; 5807-202/P2; 5807-203/P3; 5807-204/P3; 5807-205/P3; 5807-206/P3; 5807-207/P3; 5807-208/P2; 5807-209/P3.

Case Officer: Tom Burke

Direct Tel. No. 020 7641 2357

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area.

This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 4 You must apply to us for approval of a sample panel (1m2) of the following parts of the proposal:

i) the new brickwork to the Albion Close facades, including the toned finish.

You must not start work on the new brickwork to this part of the scheme until we have approved the sample area. You must then carry out the work according to the approved sample.

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 5 You must apply to us for approval of detailed drawings of the following parts of the development:

- i) all new windows, showing reveal details and in case of new window openings showing details of brick arch and reveal finish;
- ii) the new conservatory structure;
- iii) new rooflights;
- iv) new entrance doors;
- v) ventilation and other services terminations at facade and roof level.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these approved details.

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 6 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area.

This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 7 The glass that you put in the dormer window in the en-suite bathroom serving bedroom No.13 on the second floor must not be clear glass. You must apply to us for approval of a sample of the glass (at least 300mm square). You must not start work on the relevant part of the development until we have approved the sample. You must then fit the type of glass we have approved and must not change it without our permission.

Reason:

To protect the privacy and environment of people in neighbouring properties, as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

DRAFT DECISION LETTER

Address: 1 - 2 Albion Street, London, W2 2AS

Proposal: Partial demolition of mews property and associated internal alterations; erection of mansard roof extension to rear mews property; installation of lift to first floor level; installation of replacement timber front door and sash windows to rear elevation; installation of timber door to ground floor side elevation and two new first floor timber sash windows; and installation of rooflights, incorporating glazed skylight at second floor level.

Plan Nos: 5807-01 (site location plan); 5807-100/P; 5807-101/P; 5807-102/P1; 5807-103/P2; 5807-104/P2; 5807-105/P1; 5807-106/P; 5807-107/P1; 5807-108/P2; 5807-109/P2; 5807-200/P1; 5807-201/P; 5807-202/P2; 5807-203/P3; 5807-204/P3; 5807-205/P3; 5807-206/P3; 5807-207/P3; 5807-208/P2; 5807-209/P3.

Case Officer: Tom Burke

Direct Tel. No. 020 7641 2357

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 3 You must apply to us for approval of a sample panel (1m²) of the following parts of the proposal:

- i) the new brickwork to the Albion Close facades, including the toned finish.

You must not start work on the new brickwork to this part of the scheme until we have approved the sample area. You must then carry out the work according to the approved sample.

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 4 You must apply to us for approval of detailed drawings of the following parts of the development:
- i) all new windows, showing reveal details and in case of new window openings showing details of brick arch and reveal finish;
 - ii) the new conservatory structure;
 - iii) new rooflights;
 - iv) new entrance doors;
 - v) ventilation and other services terminations at facade and roof level;
 - vi) new internal doors and joinery including architraves and skirting boards;
 - vii) modifications to cornices and any proposed new cornices.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these approved details.

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 5 You must apply to us for approval of full details of the following parts of the development:
- repair works and external cleaning to the facades.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these approved details.

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

- 6 You must not disturb existing historic fabric including chimney pieces, plasterwork (including plain ceilings and walls), architraves, panelling, doors, other joinery, floorboards and staircase balustrades. You must leave them in their present position unless changes are shown on the approved drawings; or are required by conditions to this permission. You must protect those features properly during work on site.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and paragraph 2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 7 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this building and to make sure the

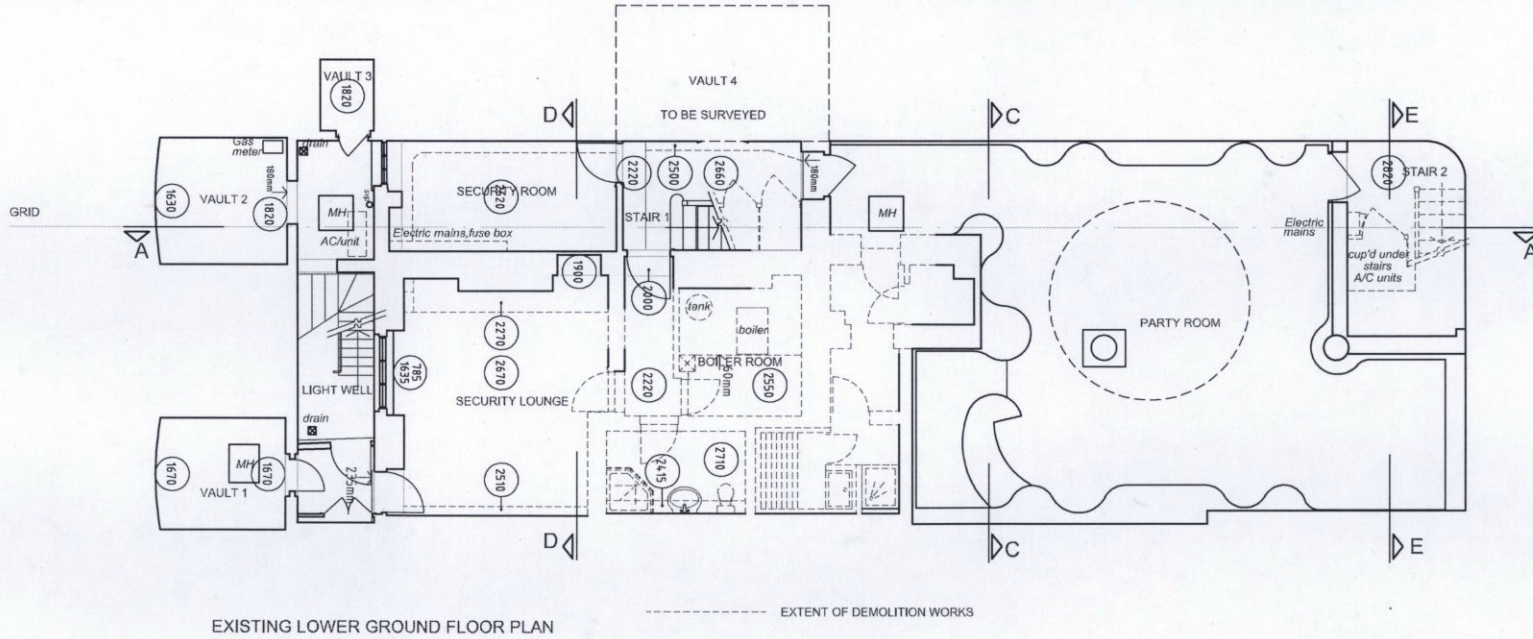
development contributes to the character and appearance of the Bayswater Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AC)

Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT -
In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework March 2012, the London Plan July 2011, Westminster's City Plan: Strategic Policies adopted November 2013, and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations.

The City Council decided that the proposed works would not harm the character of this building of special architectural or historic interest.

In reaching this decision the following were of particular relevance:
S25 and S28 of Westminster's City Plan: Strategic Policies and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.



EXISTING LOWER GROUND FLOOR PLAN

----- EXTENT OF DEMOLITION WORKS

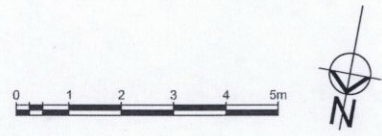
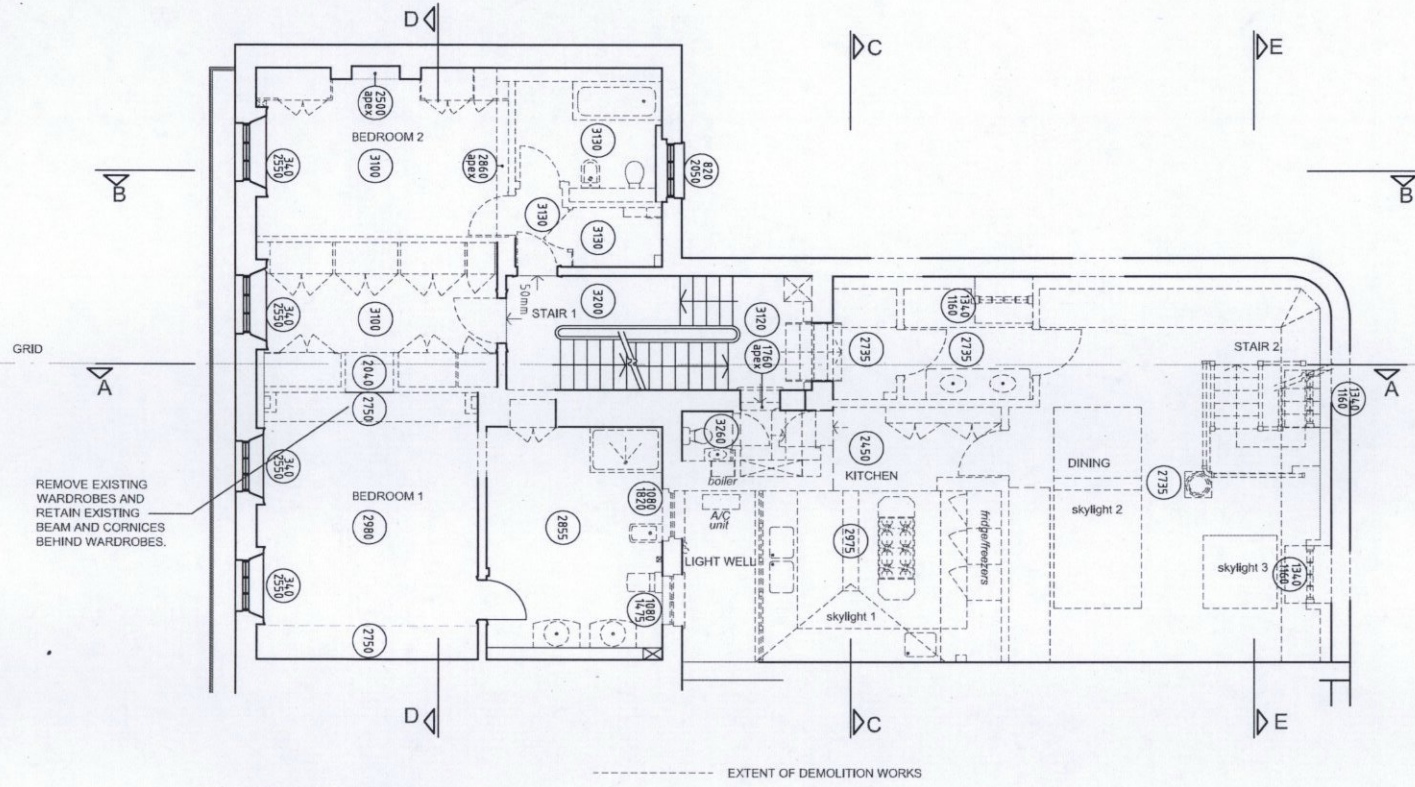


P	Planning application.	29/05/15	PC
Revision:	Description:	Date:	By:

WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	EXISTING BASEMENT PLAN	Scale:	1:100@A3
Dwg. No.	5807-100	Rev.	P
		Checked:	PB

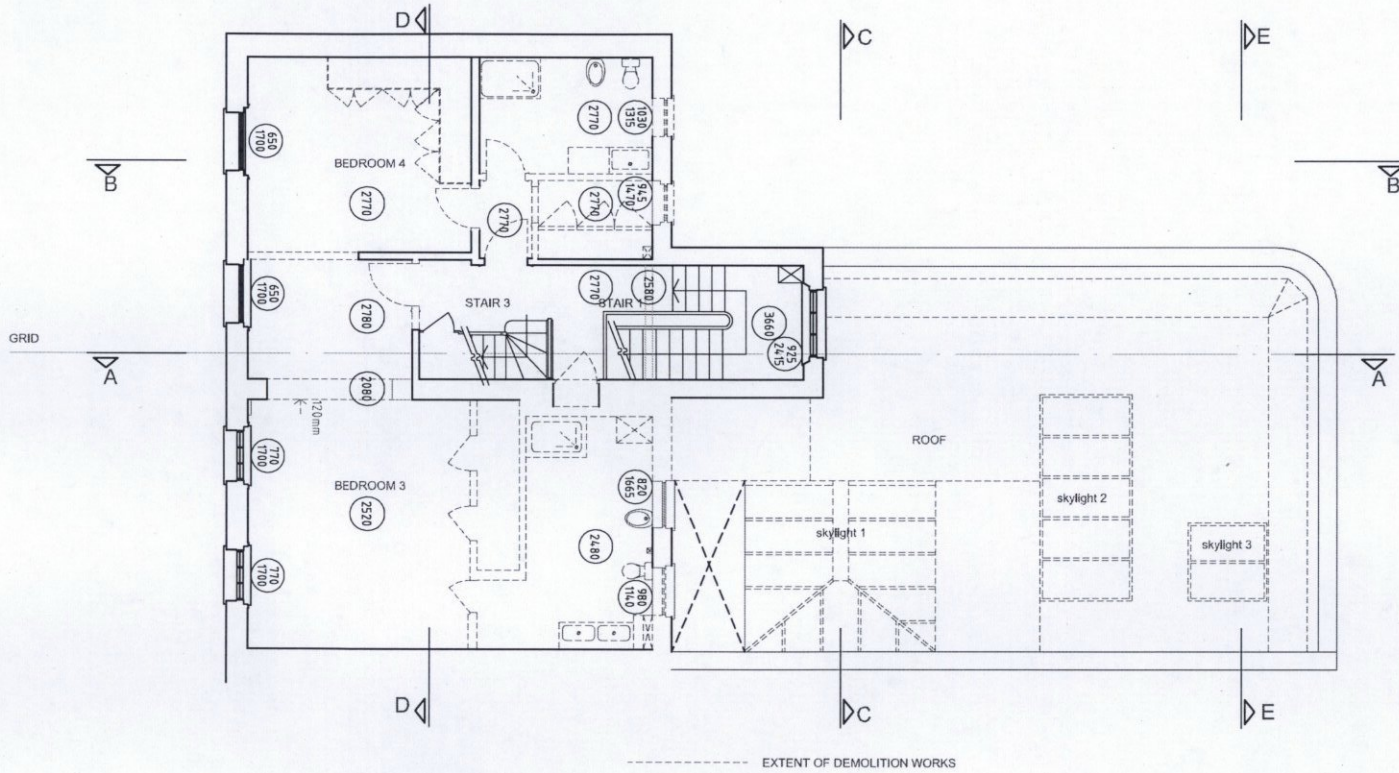
DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.



P1	Existing beam and cornices behind wardrobes to Bedroom 1 to be retained.	23/07/15	PC
P	Planning application.	29/05/15	PC
Revision:	Description:	Date:	By:
DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.			

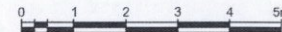
WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	EXISTING FIRST FLOOR PLAN	Scale:	1:100@A3
Dwg. No.	5807-102	Drawn:	PL
Rev.	P1	Checked:	PB



EXISTING SECOND FLOOR PLAN

----- EXTENT OF DEMOLITION WORKS



P2	Some internal partitions and door openings retained.
P1	Stair 3 retained.
P	Planning application.
Revision:	Description:

30/07/15	PL
23/07/15	PC
29/05/15	PC
Date:	By:

WEIGHTMAN & BULLEN
ARCHITECTS

tel: 020 7242 7600
e-mail: wb@wb-london.com

Project: 1 & 2 ALBION STREET
LONDON W2 2AS

Dwg. Name: EXISTING SECOND FLOOR PLAN

Dwg. No. 5807-103

Rev. P2

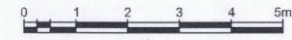
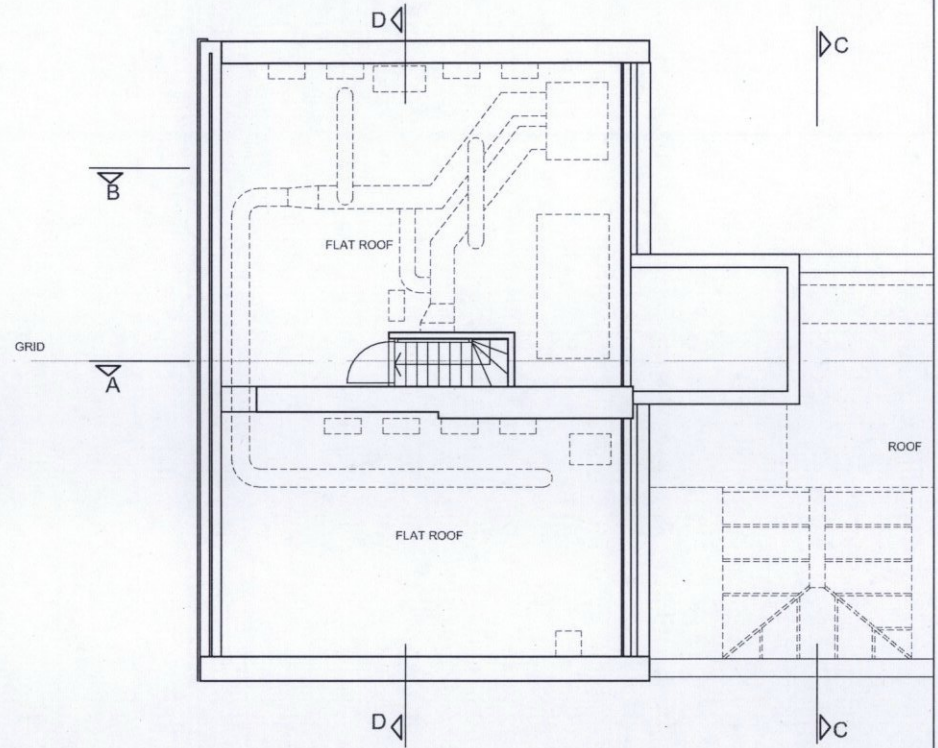
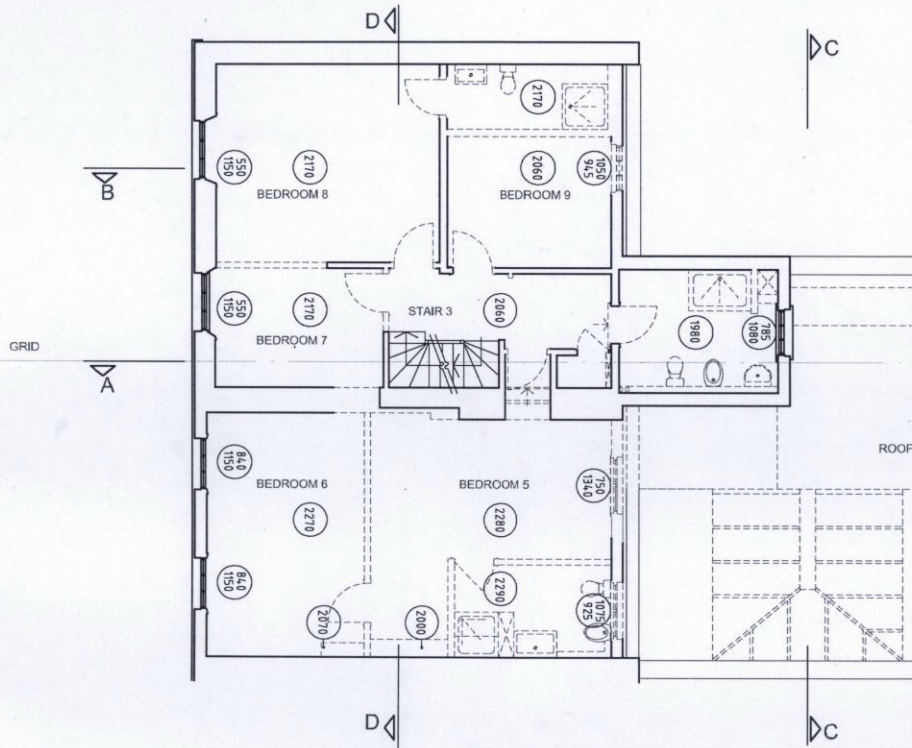
Date: JUNE 2015

Scale: 1:100@A3

Drawn: PL

Checked: PB

DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY, WHERE APPLICABLE. CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

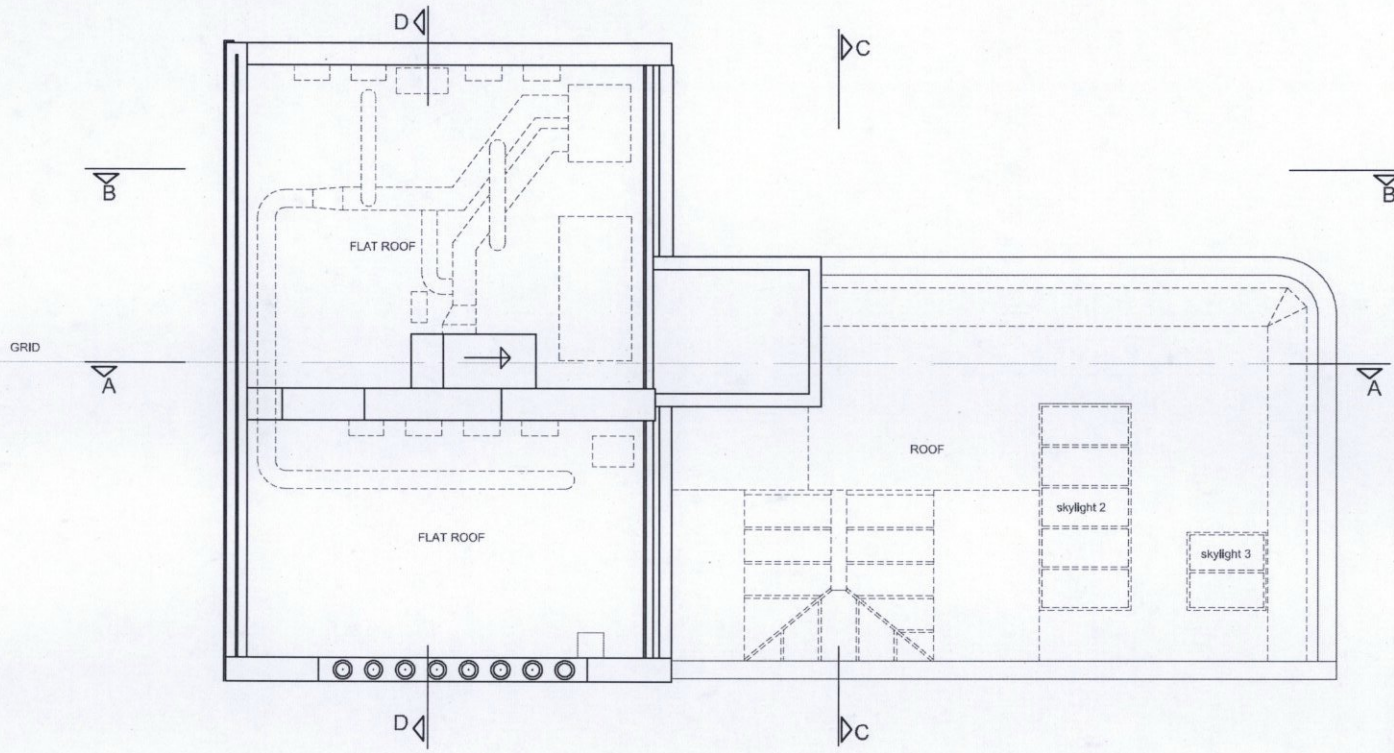


P2	Some internal partitions and door openings retained.	30/07/15	PL
P1	Stair 3 retained; railing at roof level to rear retained.	23/07/15	PC
P	Planning application.	29/05/15	PC
Revision:	Description:	Date:	By:

DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE. CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

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ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	EXISTING THIRD FLOOR AND ROOF LEVEL	Scale:	1:100@A3
Dwg. No.	5807-104	Rev:	P2
		Checked:	PB



EXISTING ROOF PLAN

----- EXTENT OF DEMOLITION WORKS

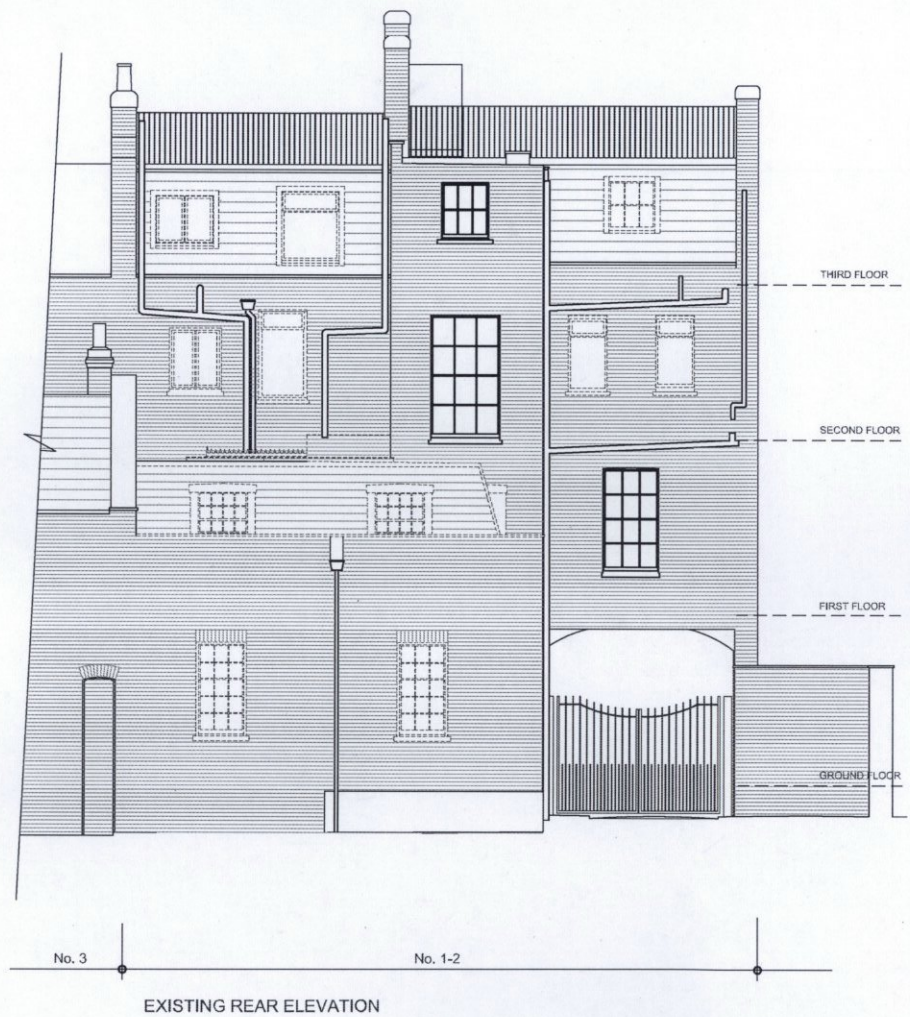
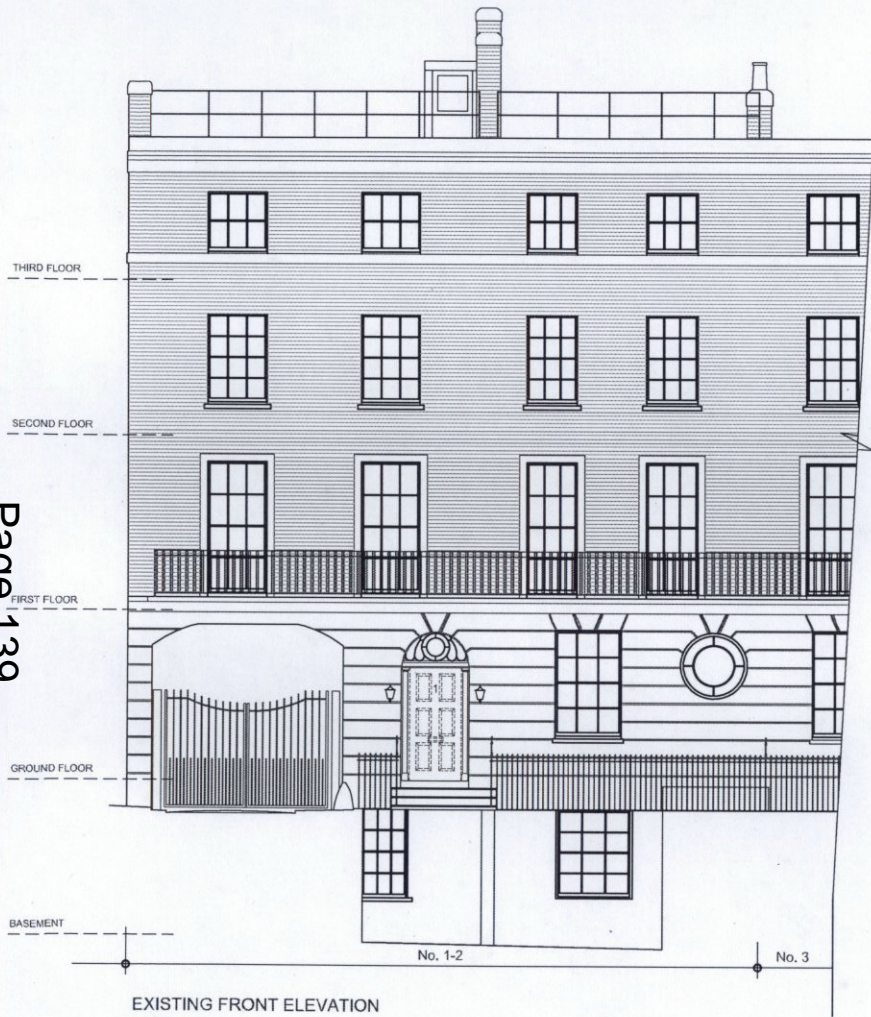


P1	Railing at roof level to rear of main house retained.	23/07/15	PC
P	Planning application.	29/05/15	PC
Revision:	Description:	Date:	By:

WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

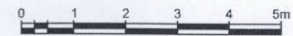
Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	EXISTING ROOF PLAN	Scale:	1:100@A3
Dwg. No.	5807-105	Rev:	P1
		Checked:	PB

DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.



KEY:

	EXISTING WALLS TO BE DEMOLISHED
	EXISTING FLOORS/ROOFS TO BE DEMOLISHED
	EXISTING FIXTURES/ELEMENTS TO BE DEMOLISHED

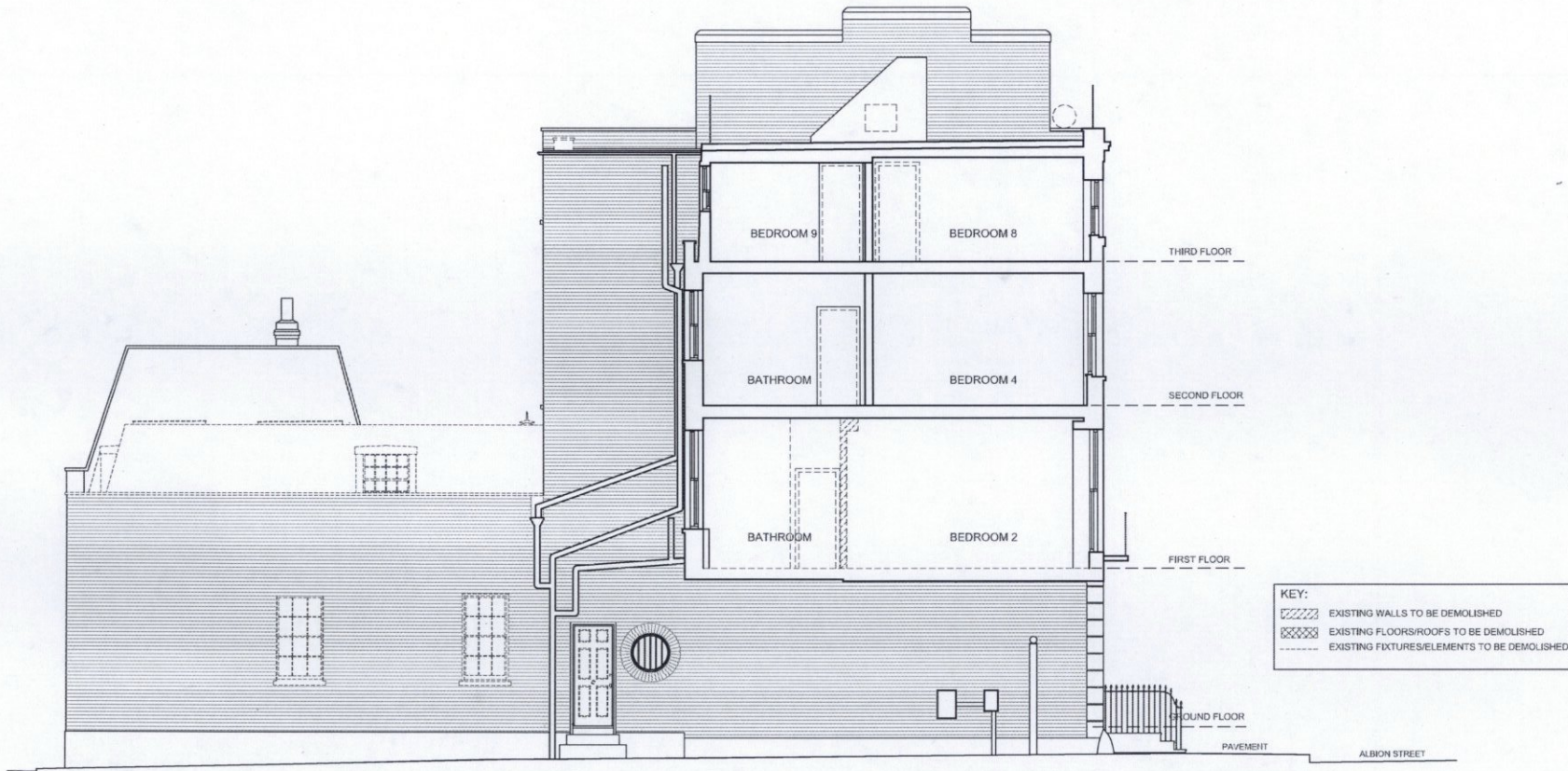


P	Planning application	29/05/2015	PL
A	Minor revisions to windows	21/05/2015	PL
Revision:	Description:	Date:	By:

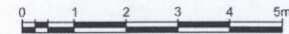
DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1-2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	EXISTING FRONT & REAR ELEVATIONS	Scale:	1:100@A3
Dwg. No.	5807-106	Drawn:	PL
		Checked:	PB
		Rev:	P

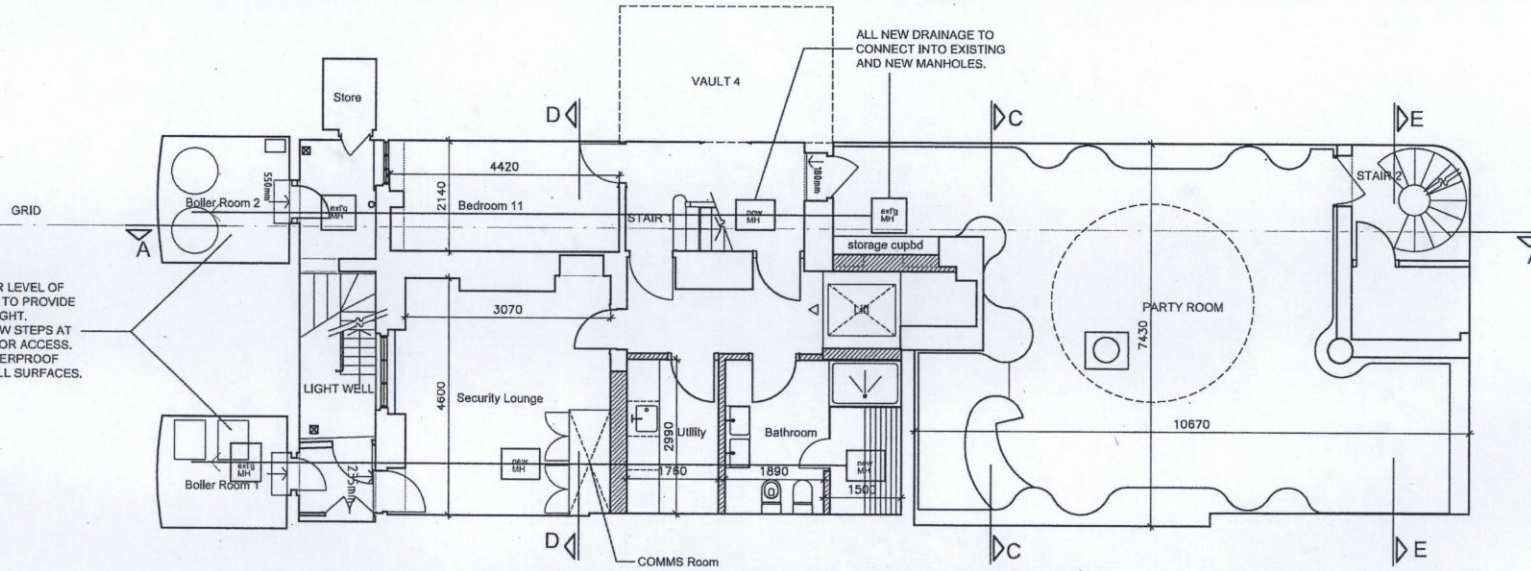


EXISTING SECTION B-B / SIDE ELEVATION

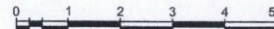


P2	Partition walls and door openings on second and third floors retained	30/07/2015	PL	WEIGHTMAN & BULLEN ARCHITECTS tel: 020 7242 7600 e-mail: wb@wb-london.com	Project:	1-2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
P1	Floor level on third floor and stair 3 retained.	23/07/2015	PL		Dwg. Name:	EXISTING SECTION B-B/ SIDE ELEVATION	Scale:	1:100@A3
P	Planning application	29/05/2015	PL		Dwg. No.:	5807-108	Drawn:	PL
Revision:	Description:	Date:	By:		Rev:	P2	Checked:	PB
DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY, WHERE APPLICABLE. CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.								

LOWER FLOOR LEVEL OF BOTH VAULTS TO PROVIDE 2M CLEAR HEIGHT. PROVIDE 2 NEW STEPS AT EACH DOOR FOR ACCESS. PROVIDE WATERPROOF RENDER TO ALL SURFACES.



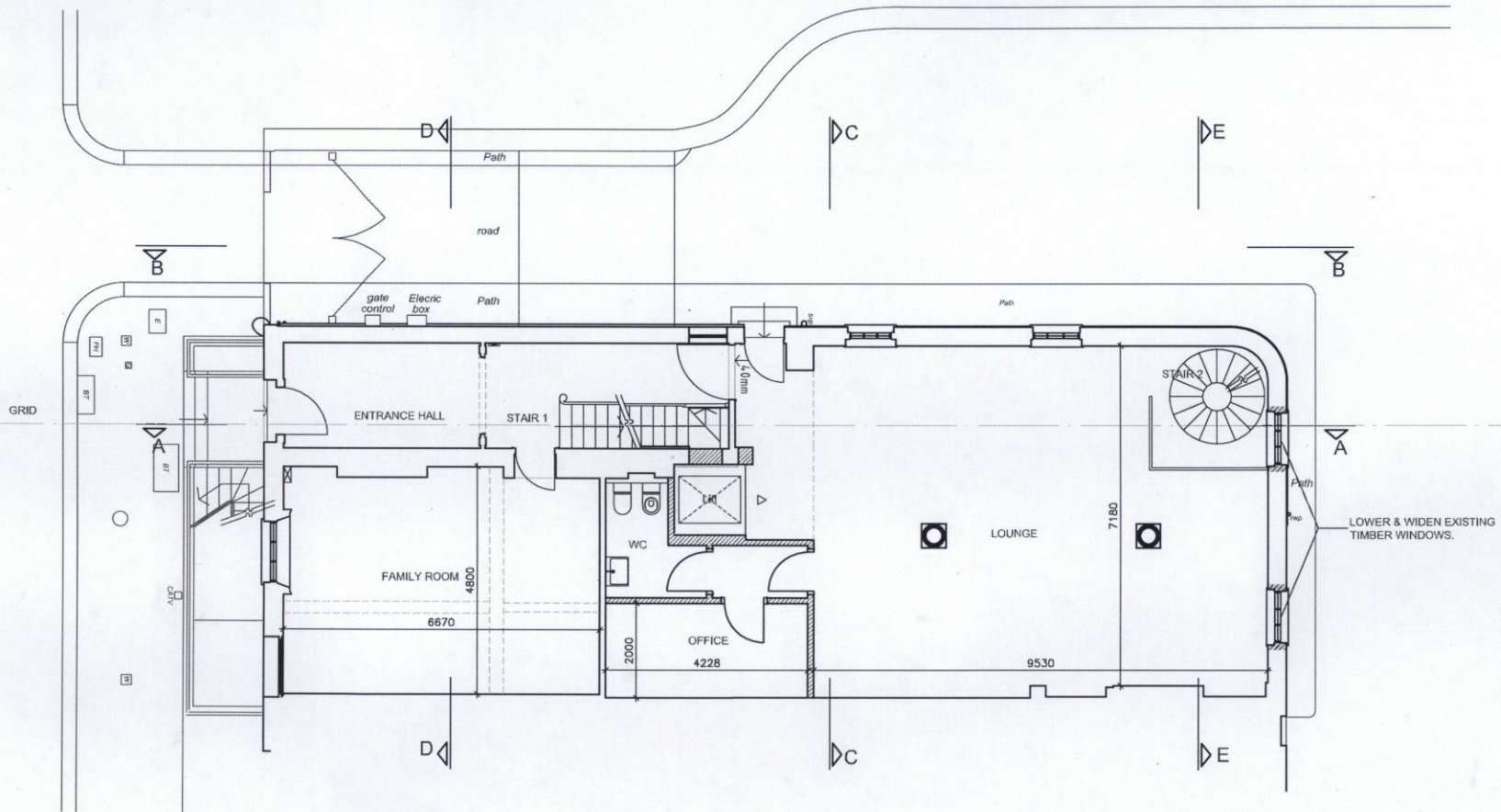
PROPOSED LOWER GROUND FLOOR PLAN



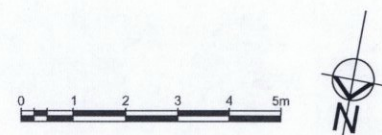
P1	VENTILATION PLANT IN STAIR 2 DELETED	10/06/15	PC
P	Planning application	29/05/15	PC
Revision:	Description:	Date:	By:
DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.			

WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	PROPOSED BASEMENT PLAN	Scale:	1:100@A3
Dwg. No.	5807-200	Drawn:	PL
	Rev P1	Checked:	PB



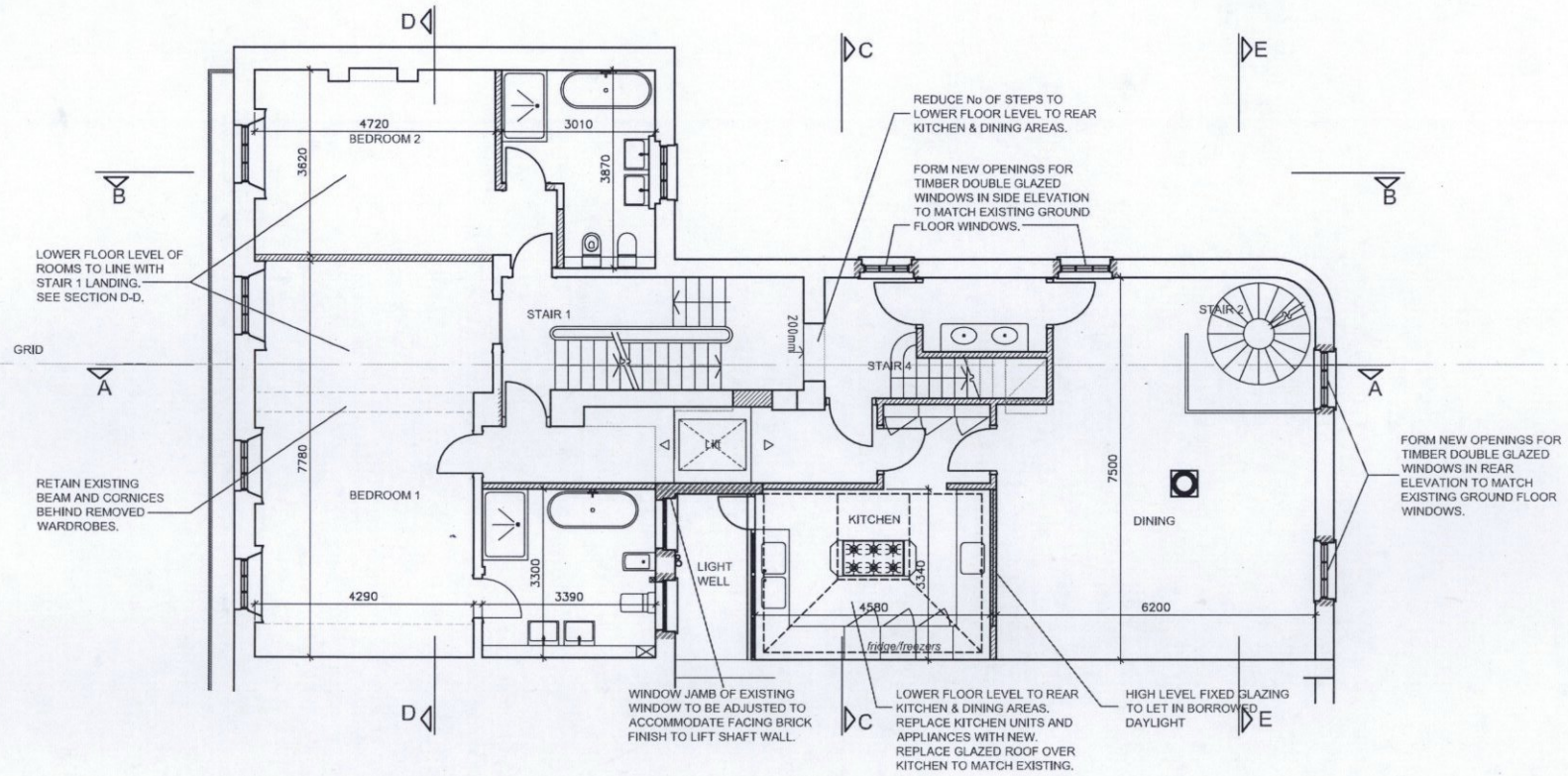
PROPOSED GROUND FLOOR PLAN



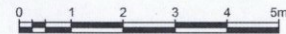
Revision:	Description:	Date:	By:
P	Planning application.	29/05/15	PC
DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE. CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.			

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Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	PROPOSED GROUND FLOOR PLAN	Scale:	1:100@A3
Dwg. No.	5807-201	Drawn:	PL
Rev.	P	Checked:	PB



PROPOSED FIRST FLOOR PLAN

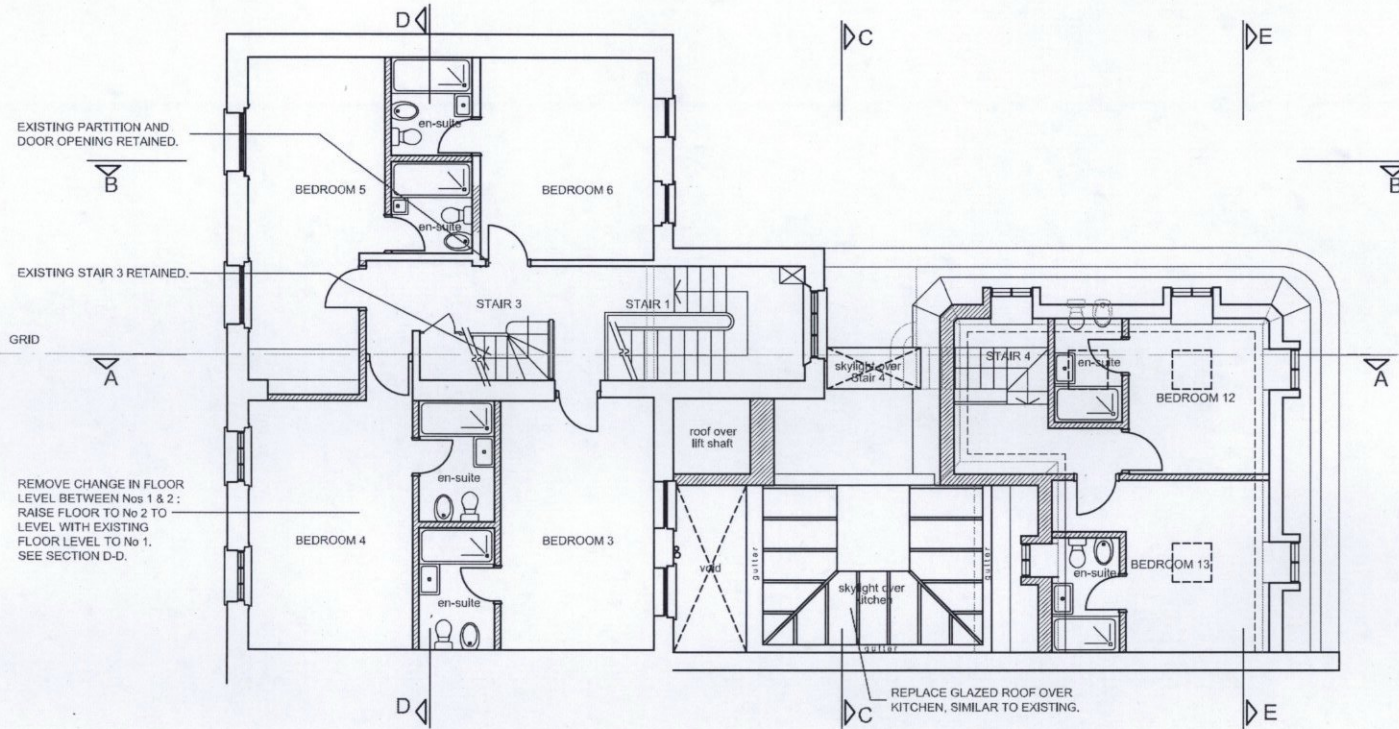


P2	Retain existing beam and cornices to Bedroom 1.	23/07/15	PC
P1	KITCHEN EXTRACT DUCT DELETED	10/06/15	PL
P	Planning application.	29/05/15	PL
Revision:	Description:	Date:	By:

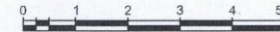
WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	PROPOSED FIRST FLOOR PLAN	Scale:	1:100@A3
Dwg. No.	5807-202	Drawn:	PL
Rev.	P2	Checked:	PB

DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.



PROPOSED SECOND FLOOR PLAN

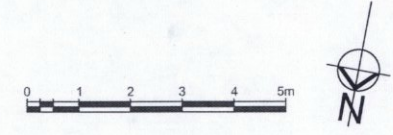
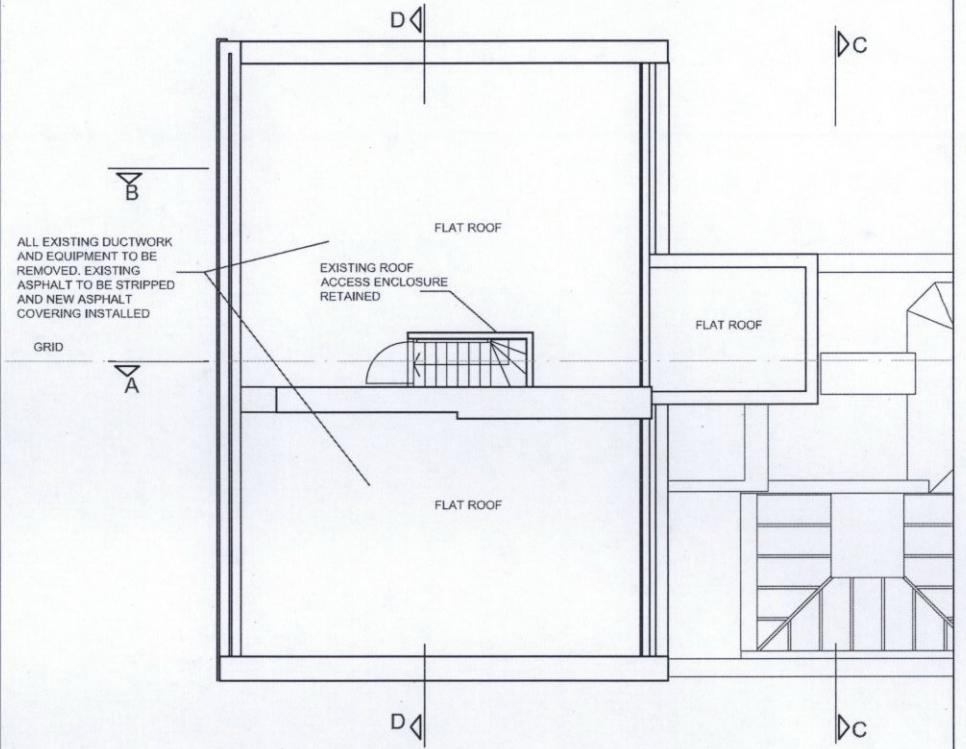
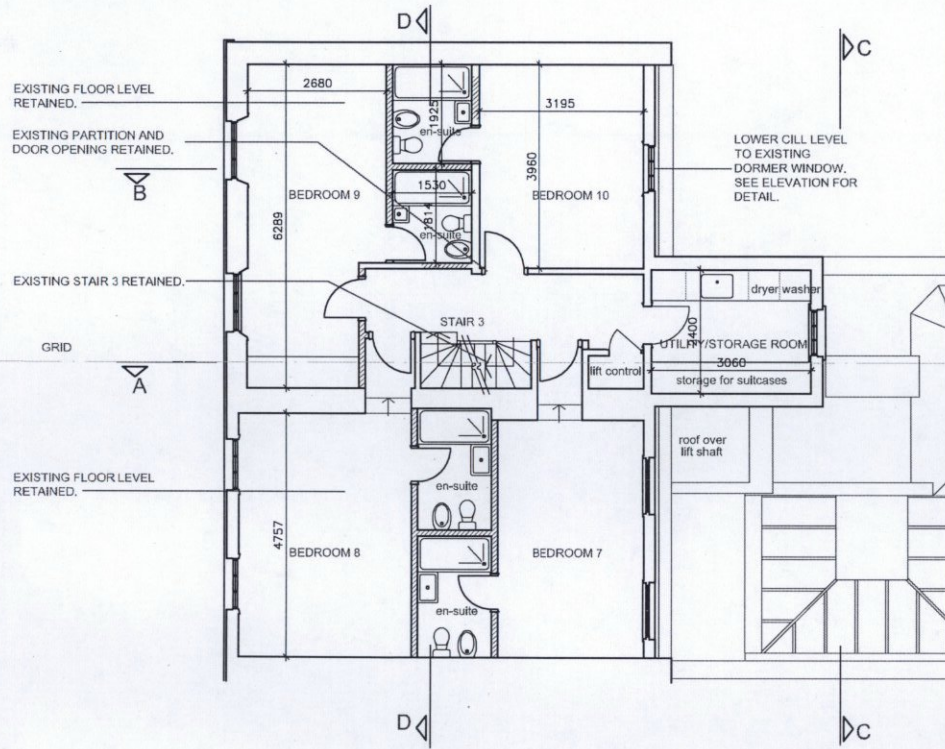


P3	Lift to terminate at first floor. Windows in Bedroom 3 to remain in original positions. Mansard to rear of Bedroom 13 to be pitched to match rest of terrace	30/07/15	PL
P2	Removed link corridor between rear extension and main front area of house; existing Stair 3 to third floor retained.	23/07/15	PC
P1	KITCHEN EXTRACT DUCT DELETED	10/06/15	PC
Revision:	Description:	Date:	By:

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WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	PROPOSED SECOND FLOOR PLAN	Scale:	1:100@A3
Dwg. No.	5807-203	Drawn:	PL
		Rev:	P3
		Checked:	PB



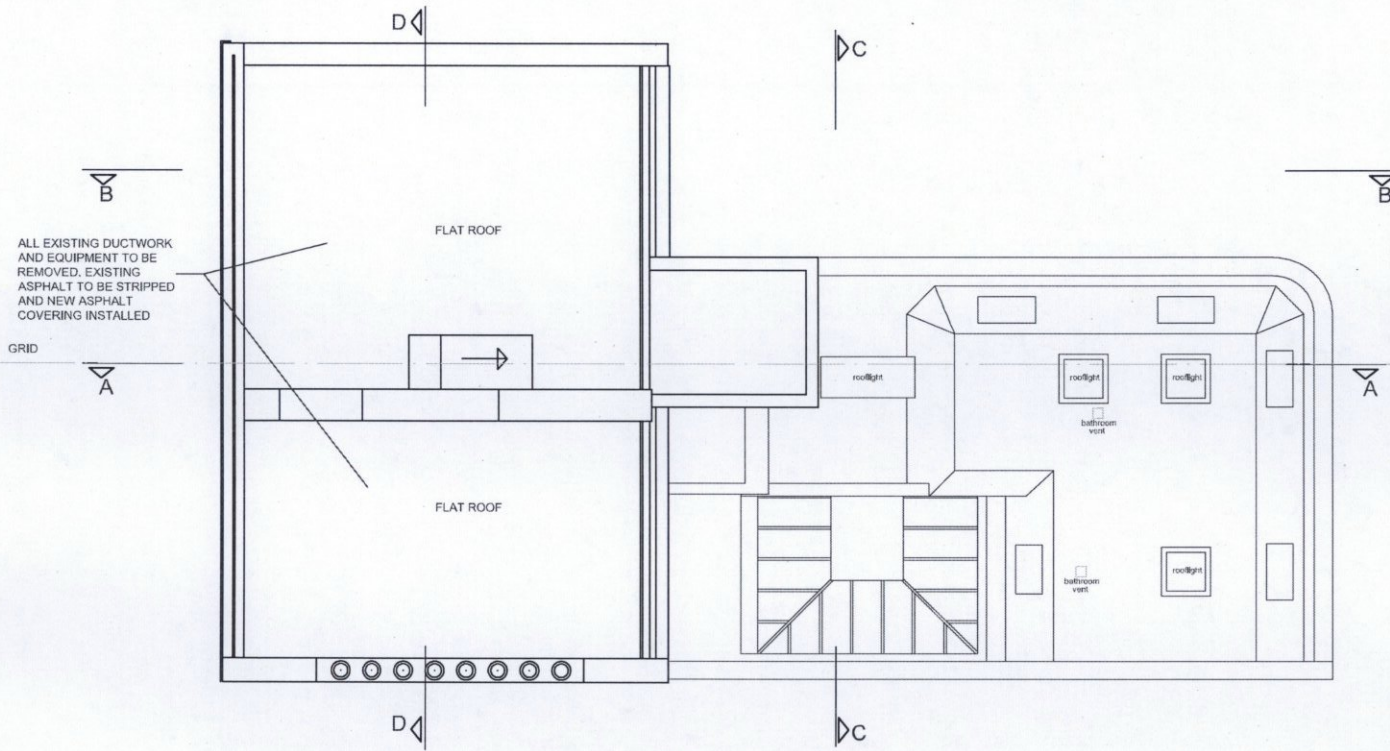
P3	Some existing partitions and door openings retained, Lift shaft reduced to first floor, Slope to mansard to rear revised.	30/07/15	PC
P2	Lift & shaft removed & terminated at 2nd floor below; existing Stair 3 and existing floor levels to bedrooms retained.	23/07/15	PC
P1	KITCHEN EXTRACT DUCT DELETED	10/06/15	PC
Revision:	Description:	Date:	By:

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ARCHITECTS

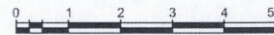
tel: 020 7242 7600
e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	PROPOSED THIRD FLOOR AND ROOF LEVEL	Scale:	1:100@A3
Dwg. No.	5807-204	Rev:	P3
Checked:	PB	Drawn:	PL

DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE. CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.



PROPOSED ROOF PLAN



P3	Lift shaft reduced to first floor. Pitch to mansard to rear revised.	30/07/15	PC
P2	Lift shaft reduced to second floor. Link between front and rear of house deleted.	23/07/15	PC
P1	KITCHEN EXTRACT DUCT DELETED	10/06/15	PC
Revision:	Description:	Date:	By:

30/07/15	PC
23/07/15	PC
10/06/15	PC
Date:	By:

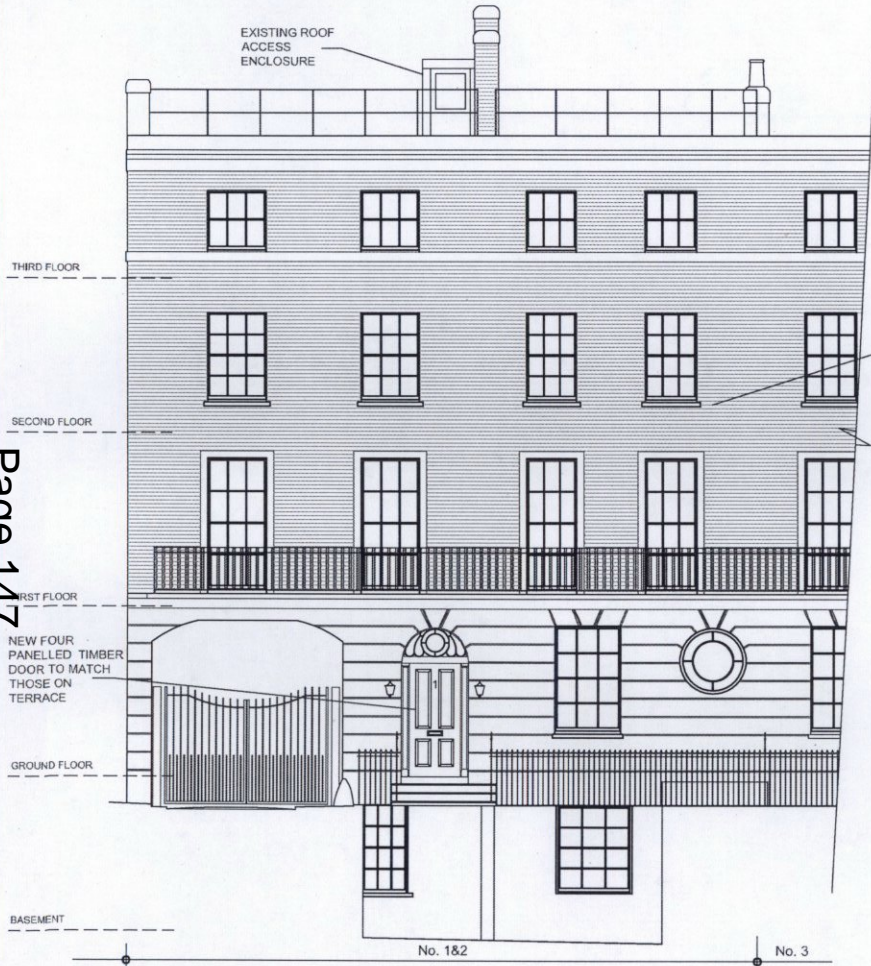
WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1 & 2 ALBION STREET LONDON W2 2AS
Dwg. Name:	PROPOSED ROOF PLAN
Dwg. No.	5807-205

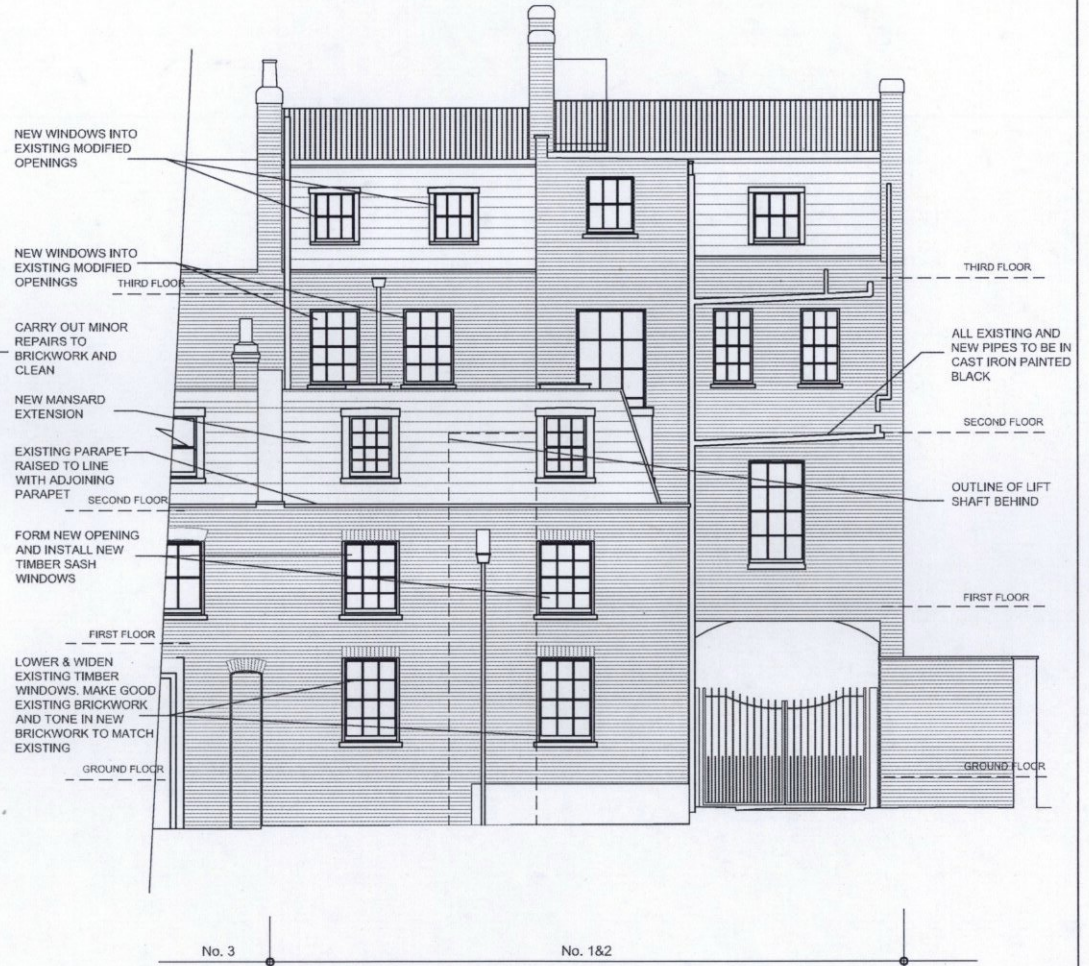
Date:	JUNE 2015
Scale:	1:100@A3
Drawn:	PL
Checked:	PB

Rev. P3

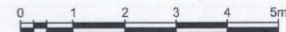
DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE. CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

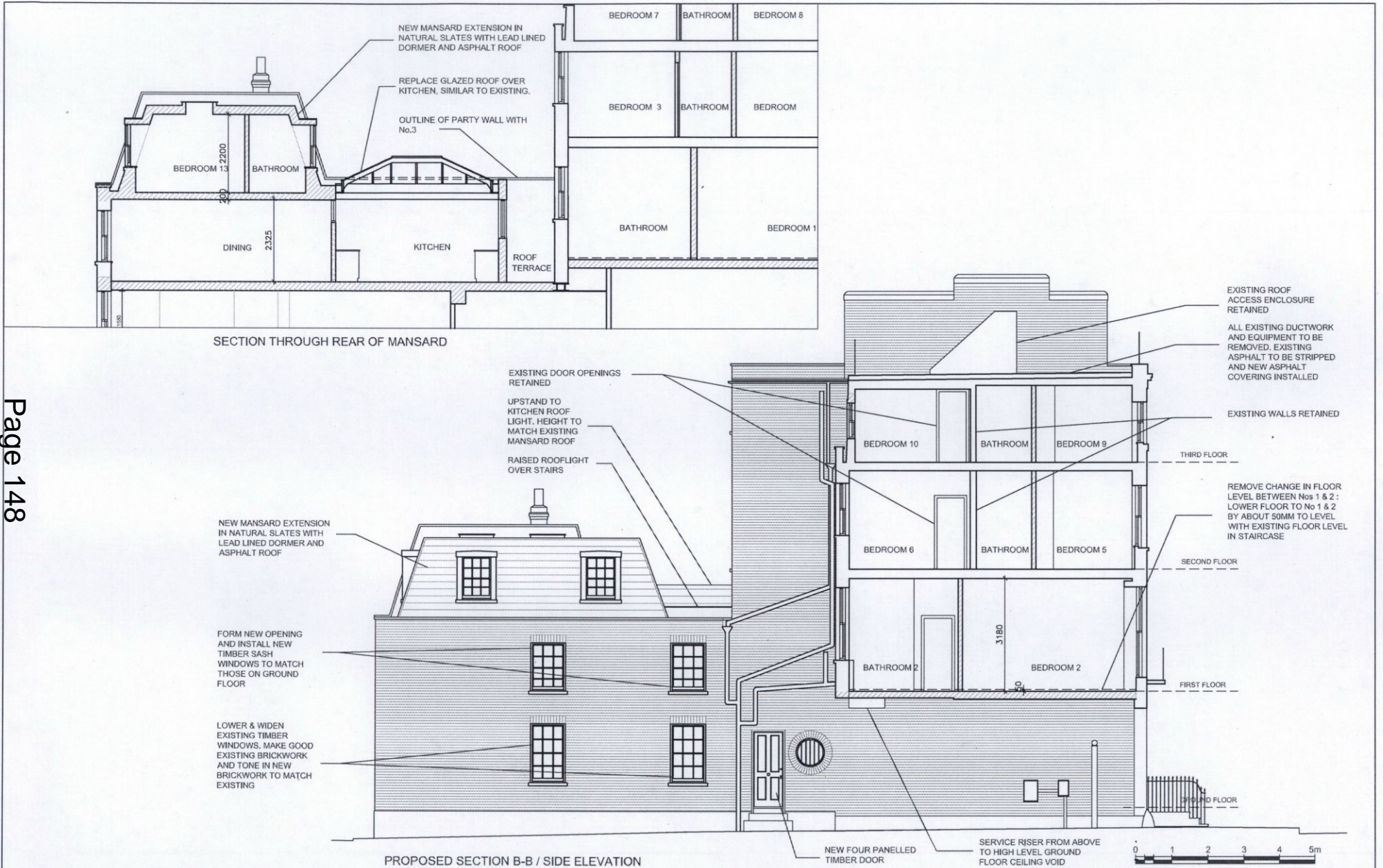


P3	LIFT SHAFT HEIGHT REDUCED TO SERVE UP TO FIRST FLOOR, ROOF AND PARAPET LEVELS TO MANSARD REDUCED, REAR WINDOWS REVISED.	30/07/2015	PL
P2	LIFT SHAFT HEIGHT REDUCED TO SERVE UP TO SECOND FLOOR, PAINTING TO REAR BRICKWORK DELETED, LINK REMOVED.	23/07/2015	PL
P1	LOUVERED GRILLES TO REAR AND NOTES RELATING TO KITCHEN EXTRACT DELETED	10/06/2015	PL
Revision:	Description:	Date:	By:

DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

WEIGHTMAN & BULLEN
ARCHITECTS
tel: 020 7242 7600
e-mail: wb@wb-london.com

Project:	1&2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	PROPOSED FRONT & REAR ELEVATIONS	Scale:	1:100@A3
Dwg. No.	5807-206	Drawn:	PL
		Checked:	PB
		Rev:	P3



P2	LIFT SHAFT HEIGHT REDUCED TO SERVE UP TO FIRST FLOOR. ROOF AND PARAPET LEVELS TO MANSARD REDUCED. REAR WINDOWS REVISED. SECTION THROUGH REAR MANSARD ADDED.	30/07/2015	PL
P1	LINK DELETED. FLOOR LEVELS ON THIRD FLOOR AND STAIRS 3 RETAINED. HEIGHT OF LIFT SHAFT REDUCED.	23/07/2015	PL
P	PLANNING APPLICATION	29/05/2015	PL
Revision:	Description:	Date:	By:

DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE. CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

WEIGHTMAN & BULLEN
ARCHITECTS
 tel: 020 7242 7600
 e-mail: wb@wb-london.com

Project:	1&2 ALBION STREET LONDON W2 2AS	Date:	JUNE 2015
Dwg. Name:	PROPOSED SECTION B-B/ SIDE ELEVATION	Scale:	1:100@A3
Dwg. No.	5807-208	Rev:	P2
		Drawn:	PL
		Checked:	PB

Agenda Item 7

Item No.
7

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Addendum Report of Director of Planning		Wards involved Harrow Road	
Subject of Report	31 Chippenham Road, London, W9 2AH		
Proposal	Erection of single storey rear extension at lower ground floor level and associated increase in height of boundary walls to rear garden.		
Agent	MZA Planning		
On behalf of	Mr Neal Khera		
Registered Number	15/03069/FULL	TP / PP No	TP/16761
Date of Application	08.04.2015	Date amended/ completed	20.04.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Outside Conservation Area		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone Within North Westminster Economic Development Area		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Grant conditional permission.



Harrow Road

BURLINGTON CLOSE

CHIPPENHAM ROAD

St Peter's Church

Ernest Harriss House

Surgery

Surgery

FLEMING CL

Athens Gardens

Kincardine Gardens

HERMES CL

EI Sub Sta

St Peter's CofE School (Primary)

GOLDNEY ROAD

Works

Community Centre

CHIPPENHAM MS

Shelter

Police Station

Council Offices

WINDSOR GDNS

Ascot House



31 CHIPPENHAM ROAD, W9

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2. SUMMARY

This application was reported to the Planning Applications Committee on 30 June 2015 at which the Committee resolved to defer the application to enable the applicant to clarify the method of rainwater discharge from the roof of the new extension.

It has been confirmed that the extension has a hidden gutter at the boundary with No.29 Chippenham Road, which drains into a downpipe located within the small lightwell that has been created between the new extension and the rear elevation of the original building (see bottom photograph at the beginning of this report). Consequently, the extension does not cause rainwater to run off the roof of the extension and onto the boundary wall with No.29 Chippenham Road. In addition, the District Surveyor has confirmed that the drainage measures that have been installed are sufficient and a Certificate of Completion has been issued by Building Control (see background papers).

3. CONSULTATIONS

ADDITIONAL CONSULTATIONS SINCE PLANNING APPLICATIONS COMMITTEE ON 30 JUNE 2015

BUILDING CONTROL

Extension has been signed off and a Certificate of Completion issued. Note that there appears to be sufficient drainage in place for the extension and boundary wall would not be subject to any greater water run off than was previously the case.

BACKGROUND PAPERS

1. Application form.
2. Email from District Surveyor dated 1 July 2015 with Certificate of Completion dated 28 April 2015.
3. Representations reported to the Planning Applications Committee dated 30 June 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT OLIVER GIBSON ON 020 7641 2680 OR BY E-MAIL – ogibson@westminster.gov.uk

Planning Applications Committee (2)
30 June 2015

(R)

RESOLUTION

7 31 CHIPPENHAM ROAD, W9

Erection of single storey rear extension at lower ground floor level and associated increase in height of boundary walls to rear garden.

RESOLVED:

That the application be deferred, to enable the applicant to clarify the method for rainwater discharge.

APPENDIX

Item No.

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 30 June 2015	Classification For General Release	
Report of Director of Planning	Wards involved Harrow Road		
Subject of Report	31 Chippenham Road, London, W9 2AH		
Proposal	Erection of single storey rear extension at lower ground floor level and associated increase in height of boundary walls to rear garden.		
Agent	MZA Planning		
On behalf of	Mr Neal Khera		
Registered Number	15/03069/FULL	TP / PP No	TP/16761
Date of Application	08.04.2015	Date amended/ completed	20.04.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Outside Conservation Area		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone Within North Westminster Economic Development Area		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Grant conditional permission.

2. SUMMARY

Retrospective planning permission is sought to retain a rear extension at lower ground floor level.

Planning permission was granted at Planning Applications Sub-Committee for a similar extension on 12 February 2013. The current proposal differs to the approved permission in that it directly abuts the boundary wall with No. 29 rather than being set back from it and is higher at an increased extension wall being 2.7 metres rather than 2.3 metres. The extension under consideration is also largely aluminium framed glazing as opposed to timber framed and includes a small lightwell between it and the main rear elevation of the building.

The proposal raises the following key issues:

- The acceptability of the extension as built in townscape terms.
- The impact of the extension on the amenity of the neighbouring property particularly in terms of loss of light, sense of enclosure, privacy and light pollution.

Whilst it is regrettable that the extension has not been built in accordance with the 2013 permission, it is not considered to be so harmful to the amenities of the adjoining flats or flats above to warrant refusal of permission.

3. CONSULTATIONS

NORTH PADDINGTON SOCIETY

Any response to be reported verbally.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 16; Total No. of Replies: 2.

Two objections from the owner/occupiers of the garden flat and top floor flat of No. 29 Chippenham Road on the following grounds:

Amenity

- Loss of light and sense of enclosure to No. 29 Chippenham Road. Disagree with applicant's Design and Access Statement that there will be no loss of light.
- Overlooking to neighbours patio from 3m wide window.
- Light pollution from the glass structure which constantly invades neighbours' privacy and is very intrusive.
- Noise from within the extension.

Design

- Proposal is ugly and not in keeping with surrounding buildings.

Other Matters

- The extension was not built according to the approved conditions and that conditions (approval of obscure glass) were not discharged.
- A boiler flue has been constructed near the neighbours window and applicant removed part of neighbours wall without their permission.
- No rainwater provision and as a result rainwater is running off the roof onto neighbouring wall and will cause damage to brickwork.
- Extension abuts boundary wall.

ADVERTISEMENT/SITE NOTICE: Yes

4. BACKGROUND INFORMATION

4.1 The Application Site

The application relates to the lower ground floor flat of No. 31 Chippenham Road which is a four storey terraced, unlisted property subdivided into four residential units. The property is not within a conservation area.

4.2 Relevant History

On 12 February 2013 planning permission was granted at Planning Applications Sub-Committee for the erection of rear extension at lower ground floor level and associated increase in height of boundary walls to rear garden.

The current application has been submitted following an enforcement investigation that the rear extension had not been built in accordance with the approved drawings.

5. THE PROPOSAL

Retrospective planning permission is now sought for the retention of a rear extension at lower ground floor level which differs to the approved permission in that it directly abuts the boundary wall with No. 29 rather than being set back from it and is higher at 2.7m rather than 2.3m adjacent the boundary wall. The extension as built is also largely aluminium framed glazing as opposed to timber framed and includes a small lightwell between it and the main rear elevation of the building.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The extension accords with Policy H3 of the UDP which aims to increase the amount of housing in the City. Policy H3(E) specifically states that extensions to existing housing will be acceptable in principle and S14 of our City Plan Strategy which states that residential use is a priority in Westminster.


6.2 Townscape and Design

An objection has been received from the adjoining occupier at No. 29 Chippenham Road on the grounds that the extension does not fit into the surrounding buildings. Although the rear extension is taller and built on the party wall, it retains the appearance of a lightweight structure subservient to the original building. In respect of the materials used, the approved scheme was for a timber framed extension, in this case aluminium framing has been used. Given this site is located outside a conservation area, and the extension is located at the rear, this material is not considered to be harmful. The creation of a small lightwell between the main rear façade and the new extension is considered difficult to resist in townscape terms.

6.3 Amenity

The increase in height and the location of the extension has resulted in a further loss of light and increased sense of enclosure to the adjoining flat at No. 29, however, the loss of amenity is not considered to be material. The windows in the side elevation of the extension are obscure to reduce overlooking. In respect of light pollution, the City Council has already granted permission for a predominantly glazed extension with a glass roof, and it is not considered that the extension as built is materially worse.

Sound transmission between the structure and the neighbour is a Building Control matter.

Item No.


Whilst it is most regrettable that the applicant has built the rear extension not in accordance with the consented scheme, it is not considered to cause material harm

Daylight/Sunlight/Overlooking

Objections have been received from two flat owners of 29 Chippenham Road on the grounds of loss of light, increased sense of enclosure, light pollution and noise from within the extension.

6.4 Transportation/Parking

Not applicable in the determination of this application.

6.5 Equalities and Diversities

The access arrangements to the building remain unaffected by these proposals.

6.6 Economic Considerations

Not relevant.

6.7 Other UDP/Westminster Policy Considerations

Not applicable.

6.8 London Plan

The proposal does not raise strategic issues.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan even if there is a limited degree of conflict with the framework. The City Council is now required to give due weight to the relevant policies in existing plans 'according to their degree of consistency with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the policies in the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

Not applicable.

Item No.
7

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

The proposal is not of a sufficient scale to require an environmental assessment.

6.12 Other Issues

Objections have been made on the grounds that a boiler flue has been constructed near the neighbour's window. This flue is not part of the proposed scheme and boiler flues are normally considered to be 'deminimus' operations and as such do not normally require permission.

Although it is that the extension was not built according to the approved conditions and that conditions were not discharged, this retrospective application has to be considered on its planning merits.

An objection has been made on the grounds that no rainwater provision has been made for the proposal and therefore concern has been raised that this may impact on the stability of the boundary wall. This is a party wall and a Building Regulations issue rather than a planning issue and is not a sustainable reason for refusal. However, the formal views of Building Control will be reported verbally to Committee.

7. CONCLUSION

The application is considered acceptable in terms of design and amenity and is therefore recommended for conditional approval.

BACKGROUND PAPERS

1. Application form.
2. Email from occupier of garden flat 29 Chippenham Road, W9 dated 12.05.15.
3. Letter from occupier of top floor flat 29 Chippenham Road W9 dated 13.05.15.
4. Planning Applications Sub-Committee report dated 12 February 2013 and decision letter.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT AMANDA COULSON ON 020 7641 2875 OR BY E-MAIL – acoulson@westminster.gov.uk

DRAFT DECISION LETTER

Address: 31 Chippenham Road, London, W9 2AH

Proposal: Erection of single storey rear extension at lower ground floor level and associated increase in height of boundary walls to rear garden.

Plan Nos: Site location plan; A0200; A0310 Rev.C; A0320 Rev.D; A0410; Design and Access Statement.

Case Officer: Richard Langston

Direct Tel. No. 020 7641 7923

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 The glazing in the side elevation of the rear extension on the boundary with 29 Chippenham Road shall only contain obscure glass and be permanently fixed shut. You must not change the obscure glass without our written permission.

Reason:

To protect the privacy and environment of people in neighbouring properties, as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 13 of our Unitary Development Plan that we adopted in January 2007

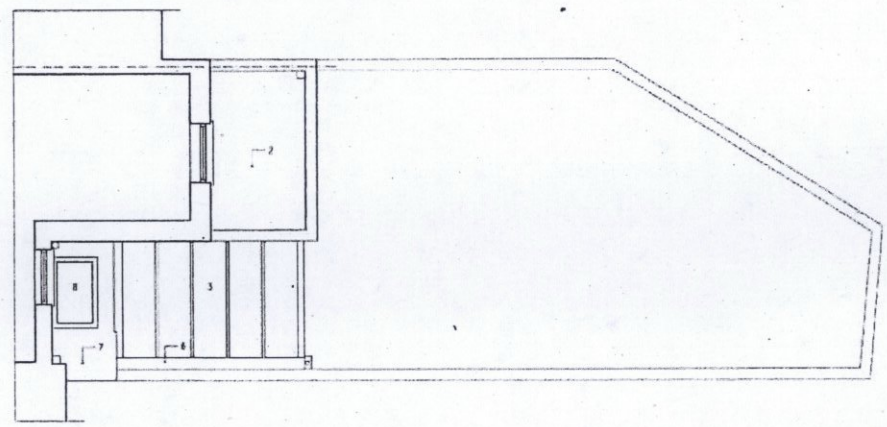
Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was provided to the applicant at the validation stage.

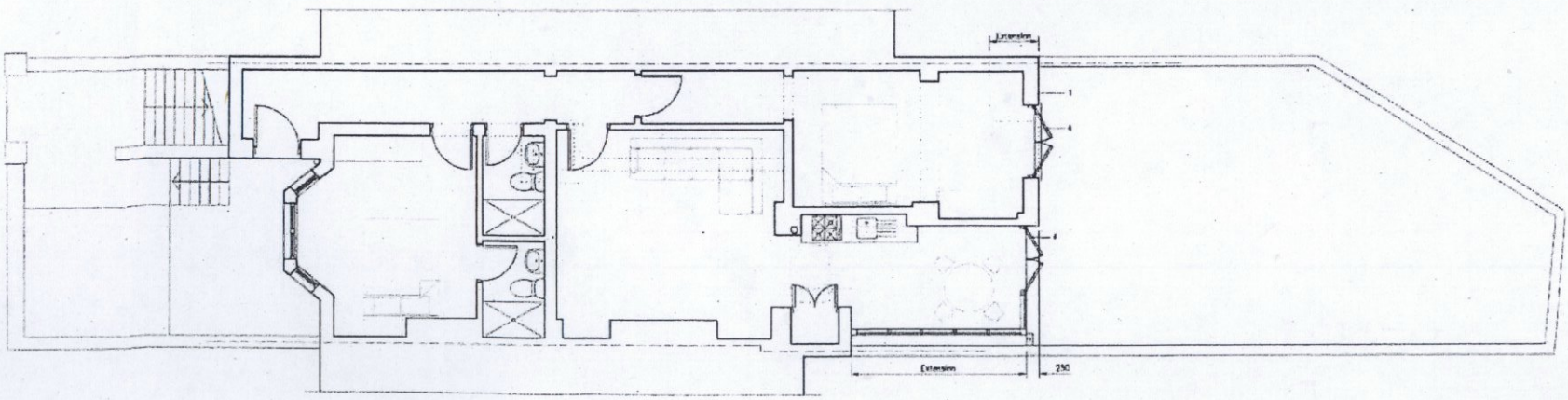
- 2 Please make sure that the lighting is designed so that it does not cause any nuisance for neighbours at night. If a neighbour considers that the lighting is causing them a nuisance, they can ask us to take action to stop the nuisance (under section 102 of the Clean Neighbourhoods and Environment Act 2005).

Notes:
 Copyright belongs to M A King Plans
 Linear dimensions are in millimetres
 Levels are in metres
 All dimensions to be checked on site

As Approved 2013



Roof Plan



Lower Ground Floor

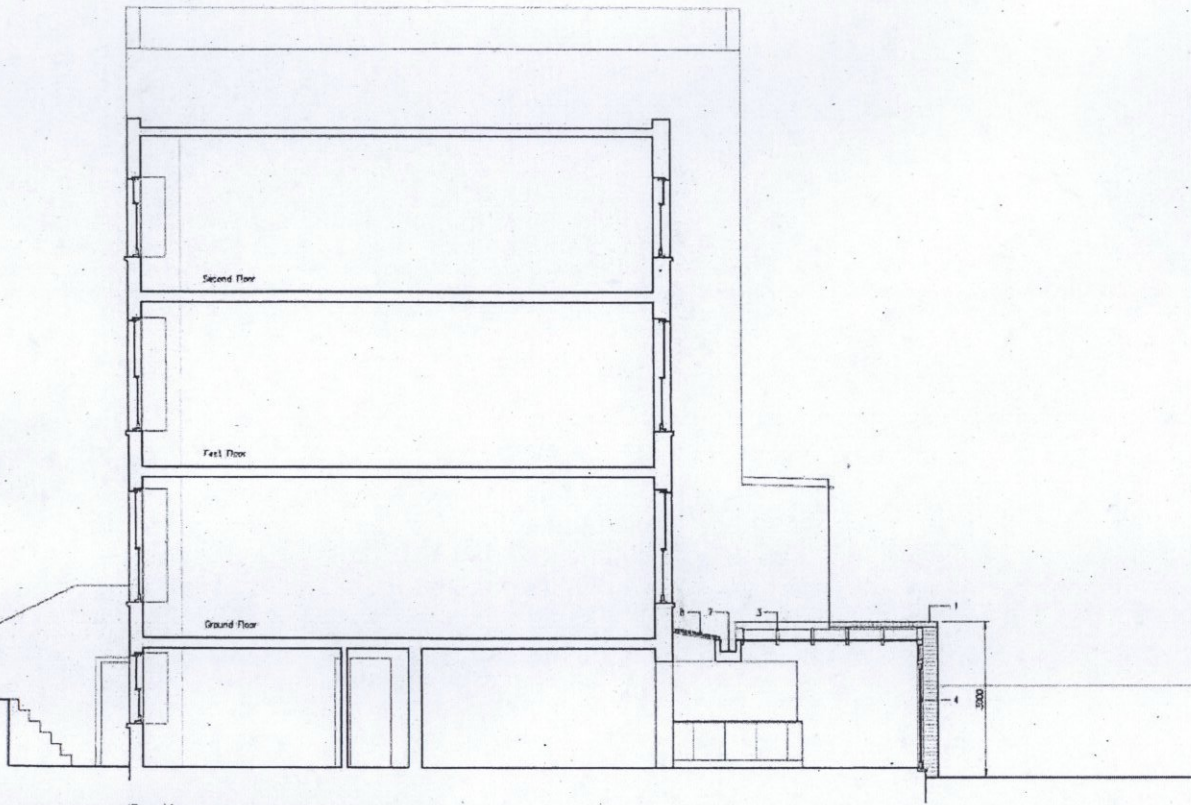
- C 12.12.12 Glazing balconies 45° right ins
- B 28.05.12 Add glass roof
- A 04.05.12 Amend following planning refusal

 M A King Plans
 2A Theobalds Road
 London
 WC1X 8PN
 T: +44 (0) 7976 603076
 E: info@makingplans.eu

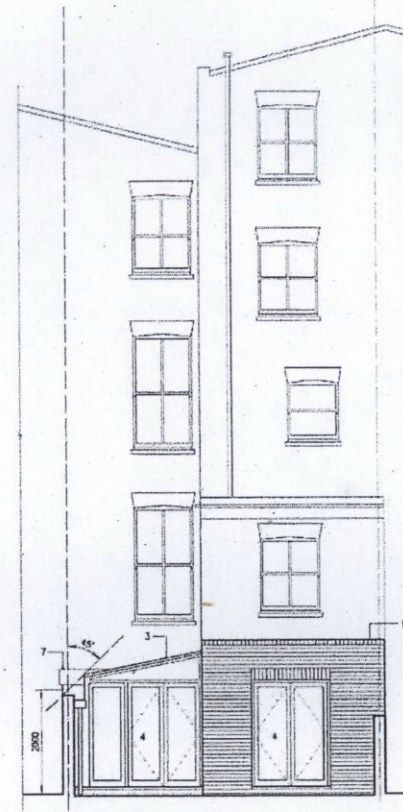
Project:
Basement Flat
 31B Chippenham Road
 London W9 2AH

File:
 Plans as Approved

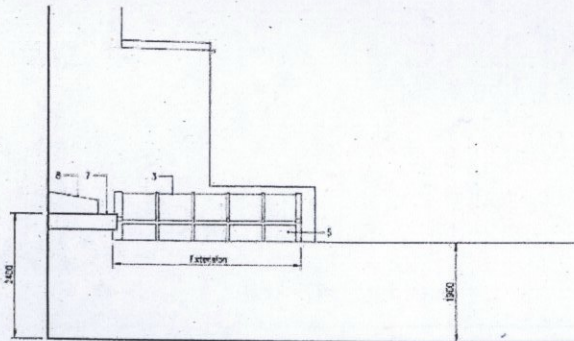
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Date	25 February 2012	
Scale	1/100, A3	
Project Number	KSN31CR	
Drawing No./Revision	A0310	C



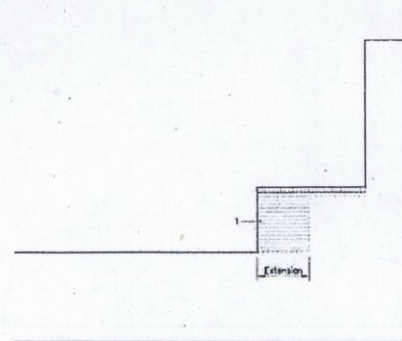
Section



Rear Elevation




Side Elevation
29 Chippenham Road



Side Elevation
33 Chippenham Road

Notes:
 Copyright belongs to M A King Plans
 Linear dimensions are in millimetres
 Levels are in metres
 All dimensions to be checked on site
Schedule of Proposed Works & Materials:
 1 Brickwork to match existing
 2 Flat roof behind parapet wall
 3 Glazed roof
 4 French doors
 5 Vertical obscured glazing
 6 Hidden lead gutter
 7 Existing flat roof
 8 Fire rated rooftop

B 12.12.12 Glazing behind 45° light line
 C 05.11.12 Gable glass roof towards party wall
 B 28.05.12 Add glass roof
 A 04.05.12 Amend following planning refusal

 **M A King Plans**
 2A Theobalds Road
 London
 WC1X 8PN
 T: +44 (0) 7976 803076
 E: info@makingplans.eu

Project
 Basement Flat
 31B Chippenham Road
 London W9 2AH

File
 Elevations as Approved

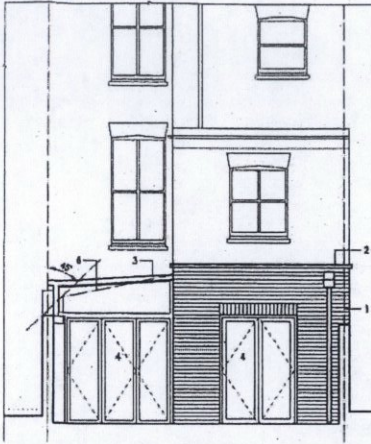
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Project Number	KSN31CR
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As Approved 2013

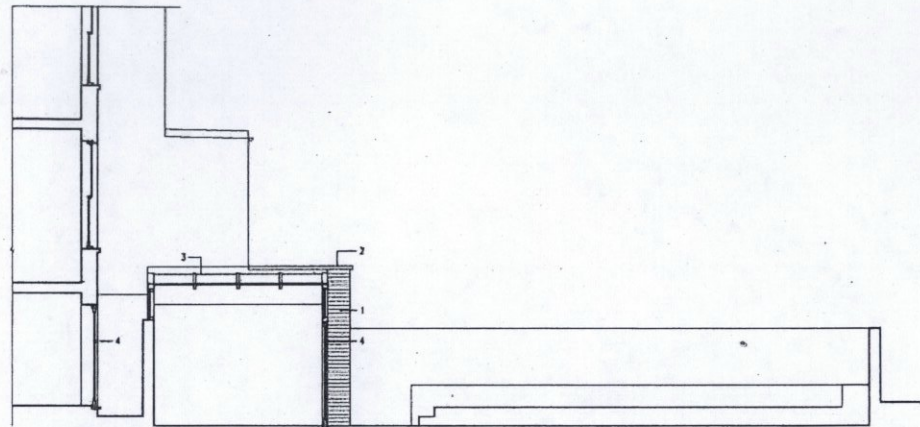
Current Application

Notes
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Levels are in metres
All dimensions to be checked on site

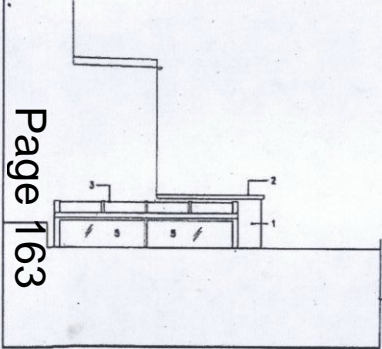
- 1 Brickwork to match existing
- 2 Flown stone coping
- 3 Clipped roof
- 4 French doors
- 5 Vertical obscured glazing
- 6 Planning Permission 12-00374-FULL



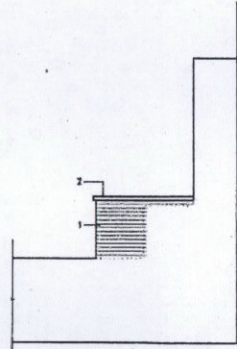
Rear Elevation



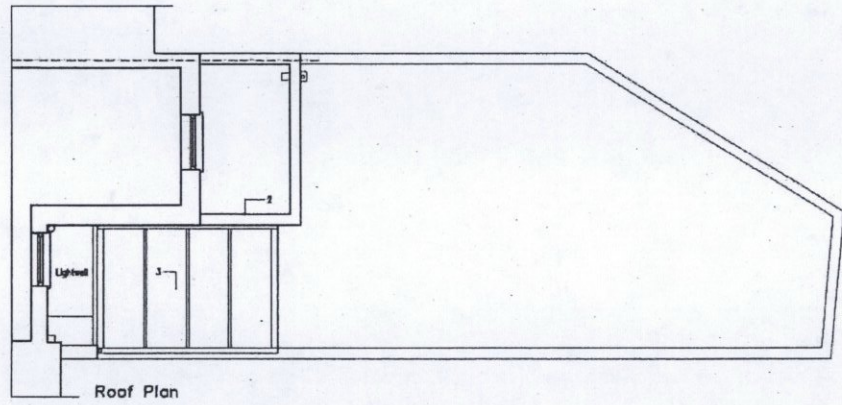
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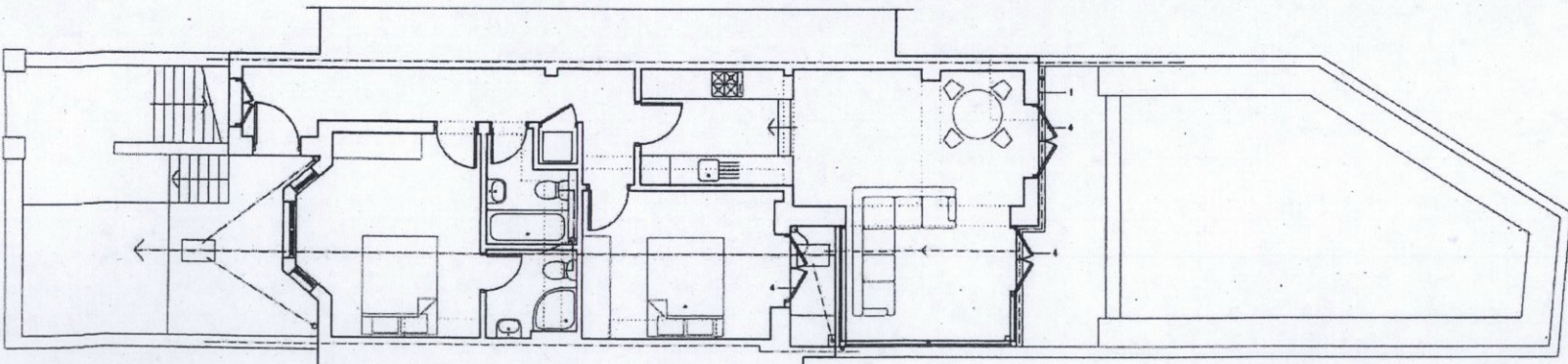
Side Elevation
29 Chippenham Road



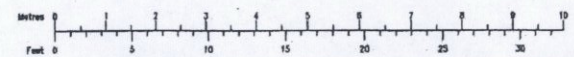
Side Elevation
33 Chippenham Road



Roof Plan



Lower Ground Floor



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E: info@makingplans.eu

Project
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London W9 2AH

The
Plans & Elevations As Built

Drawn/Checked	NRK	mkh
Date	13 March 2015	
Scale	1/100 @ A3	
Project Number	KSN31CR	
Drawing No./Revision	AD410	-

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Agenda Item 8

Item No.
8

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 8 September 2015	Classification For General Release	
Report of Director of Planning		Wards involved Bayswater	
Subject of Report	8 Sunderland Terrace, London, W2 5PA		
Proposal	Erection of dormer windows to front and rear roof slopes.		
Agent	BLA Architects		
On behalf of	Mr Cyrus Jilla		
Registered Number	15/04641/FULL	TP / PP No	TP/13140
Date of Application	22.05.2015	Date amended/ completed	26.05.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Westbourne		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Refuse permission - design grounds.





8 SUNDERLAND TERRACE, W2

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2. SUMMARY

Permission is sought for the erection of a rear dormer and enlargement of an existing front dormer in connection with the enlargement of the existing dwellinghouse at fourth floor level. The current application follows the refusal of a similar scheme, which was subsequently dismissed at appeal in March 2015. The principal difference between the current scheme and that which was recently dismissed at appeal is that the width of the proposed front and rear dormers have now been reduced.

The key issue in this case is:

- The impact of the proposed dormers on the appearance of the building and the character and appearance of the Westbourne Conservation Area.

Whilst the amendments to the front dormer have overcome the concerns raised previously in respect of the scheme dismissed at appeal in early 2015, the proposed rear dormer is considered to harm the appearance of the building and the character, appearance and unity of the terrace of which it forms a part, which remains predominantly undeveloped to the rear roof slope. The rear dormer would also harm the character and appearance of the Westbourne Conservation Area and would be contrary to Policies DES1, DES6 and DES9 in the Unitary Development Plan (UDP) and Policies S25 and S28 in Westminster's City Plan: Strategic Policies (the City Plan).

3. CONSULTATIONS

SOUTH EAST BAYSWATER RESIDENTS ASSOCIATION

Objection. In view of recent appeal decision and letter of advice from the City Council, object to the proposed rear dormer window. No objection in respect to the front dormer provided it meets the City Council's normal design requirements. If necessary, permitted development rights should be removed to prevent the front parapet wall from being removed or altered.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 33; Total No. of Replies: 0.

ADVERTISEMENT/SITE NOTICE: Yes.

4. BACKGROUND INFORMATION

4.1 The Application Site

The application site is a three storey terrace property and comprises part of a group of unlisted mid-19th century buildings within the Westbourne Conservation Area. The building is not listed, nor are there any listed buildings located adjacent to the site.

4.2 Relevant History

20 May 2014 – Permission was refused for increase of the width of existing front roof dormer and construction of new rear dormer (13/11365/FULL). Permission was refused on design grounds. A subsequent appeal was dismissed on 6 March 2015.

In reaching this decision the Inspector had regard for the predominantly undeveloped rear roof plane on the north side of Sunderland Terrace and modest scale of front dormers that have been erected. Consequentially, the Inspector concluded that the enlarged front dormer and proposed rear dormer would detract from the character and appearance of the surrounding area and unity of the terrace, contrary to Policies S25 and S28 in the City Plan and Policies DES6 and DES9 in the UDP.

The Inspector acknowledged that the rear dormer would not be visible from the public highway, although he gave weight to the substantial views of the rear of 8 Sunderland Terrace from the upper floor windows from Durham Terrace to the rear.

In accordance with the NPPF, the Inspector concluded that the dormers would result in harm to the special character of the heritage asset, and the relative gains of providing improved levels of light and accommodation in the roof space would not be sufficient to outweigh the harm caused.

5. THE PROPOSAL

The application seeks permission for the erection of a replacement dormer window to the front roof slope and a new dormer window to the rear roof slope.

6. DETAILED CONSIDERATIONS

6.1 Land Use

Policy S14 in the City Plan and Policy H3 in the UDP seek to maximise the amount of land or buildings in residential use. The creation of additional residential floorspace in connection with the existing dwellinghouse is therefore not objectionable in land use terms.

6.2 Townscape/Design

The Westbourne Conservation Area Audit outlines that unbroken roof lines make a distinctive contribution to the local scene. The terrace of which the application site forms a part has an attractive and largely uniform appearance. This uniform appearance extends to its roofscape, where nearly all of the properties retain their pitched roof profile, particularly to the rear roof slope, which is more visible owing to the lack of a roof edge parapet to the rear.

Policies DES6 and DES9 of the UDP are the most directly applicable design policies. Policy DES6 indicates that roof level alterations and extensions are likely to be refused where the development would affect the architectural character or unity of a building, or group of buildings, and would be visually intrusive or unsightly when viewed from public or private views.

6.2.1 Proposed Rear Dormer

With the exception of the neighbouring property at No.7 and in part No.11, the prevailing character of the roofscape of Sunderland Terrace is that it does not feature rear dormers. This point was observed in the Inspector's appeal decision dated 6 March 2015 (see Background Papers). With regard to the rear dormer at No.7, permission was granted in 1995 and therefore it predates the adoption of the current UDP in 2007 and the Westbourne Conservation Area Audit in 2002. Accordingly, it can be afforded little weight. Furthermore, the Inspector's decision from March 2015 highlights that these dormers are unsympathetic and not a suitable example to follow.

At No.11D, a discreet rear dormer window was permitted in 2006, although this also predates the adoption of the current UDP. More weight must be given to the City Council's decisions in 2007 and 2014 to refuse permission for dormer extensions at Nos.6D and 8 Sunderland Terrace.

With regard to the proposed rear roof dormer, it would be centrally positioned on the roof slope and set up from the eaves by 1.3m. It would contain two timber sash windows and would have lead clad dormer cheeks. The previously refused dormer had the same

positioning but contained three window units and occupied a greater proportion of the overall rear roof slope. In terms of views of the roof at the rear, the rear elevation walls at Nos.1-12 terminate at the eaves and there are prominent views of its rear roofscape seen from the upper floor levels of surrounding buildings and also from Alexander Mews.

It is acknowledged that the scale of the proposed dormer has been reduced compared to that which was previously refused and the materials and detailing are not out of keeping with the host building. However, the dormer itself would, in this location, break up the largely unaltered roof profile in conflict with Policies DES1 and DES6 in the UDP and Policy S28 in the City Plan. As a consequence, the proposed dormer would harm the appearance and unity of the rear roofscape of this terrace.

As such, whilst the rear dormer has been reduced in size compared to the previously refused proposal, it would remain disruptive upon the existing consistency of the roofline of the terrace, which is particularly apparent from the rear and would be detrimental to the architectural integrity and character of the building and of the terrace. Consequentially, it would fail to preserve or enhance the character or appearance of the conservation area, which is both a statutory duty for the local planning authority and the aim of Policy DES9 in the UDP and S25 in the City Plan. In accordance with the NPPF, the relative gains in terms of the improved levels of light and accommodation at fourth floor level within the dwellinghouse are not considered sufficient to outweigh the harm identified.

6.2.2 Front Dormer

The front of this terrace grouping is characterised by uniform parapet walls which terminate higher than the eaves, but lower than the height of the ridge of the roof. As such, when viewed from street level the pitched roofs of the terrace at Nos.1-12 Sunderland Terrace are largely screened by its front parapet wall (the submitted drawings of No.8 indicate the parapet wall is some 1.5m high) and any street level views of the roofs are minimal, although the upper part of the roof slope are prominently visible from the properties on the upper floor levels of buildings opposite.

The proposed replacement front dormer would be centrally positioned on the roof slope behind the parapet and is set back from the roofs edge. It would contain two timber sash windows and would have lead dormer cheeks. The previously refused dormer had the same positioning but contained three window units and thus would have occupied a greater proportion of the front roof slope.

It is acknowledged that the roofscape to the front of the terrace is more varied with a number of properties having modestly-scaled dormers. This proposal is for a slightly wider dormer than currently exists, but is narrower than the one at No.7 and narrower than the previous refused front dormer. In these circumstances, it is considered that the overall impact of the proposed front dormer upon the character and appearance of the conservation area would on balance be acceptable and no objection is raised in design terms in relation to this part of the current scheme.

6.3 Amenity

Policy ENV13 in the UDP states that the Council will resist proposals that would result in a material loss of daylight/sunlight, particularly to dwellings, and that developments should not result in a significant increased sense of enclosure, overlooking or cause unacceptable overshadowing. Similarly, Policy S29 in the City Plan aims to protect the amenity of residents from the effects of development.

In this case, given the location of the proposed development at roof level set within the existing roof slopes, it would not give rise to any significant concerns in amenity terms. The proposals therefore accord with Policy ENV13 in the UDP and Policy S29 in the City Plan.

6.4 Transportation/Parking

Not applicable.

6.5 Economic Considerations.

Not applicable.

6.6 Equalities and Diversities (including Access)

The proposed development would have no impact on the accessibility of the existing private dwellinghouse.

6.7 Other UDP/Westminster Policy Considerations

None relevant.

6.8 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

Not applicable.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

Not relevant given the limited scale of the proposed development.

6.12 Other Matters

None relevant.

7. CONCLUSION

For the reasons set out in Section 6.2 of the report, the proposed rear dormer would detract from the appearance of the building, the unity of the terrace of which the host building forms a part and would harm the character and appearance of the Westbourne Conservation Area. This would be contrary to Policies S25 and S28 in the City Plan and Policies DES1, DES6 and DES9 in the adopted UDP.

BACKGROUND PAPERS

1. Application form.
2. Letter from South East Bayswater Residents Association dated 17 July 2015.
3. Appeal decision dated 6 March 2015, previous decision letter dated 20 May 2014 and associated drawings.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT OLIVER GIBSON ON 020 7641 2680 OR BY E-MAIL – ogibson@westminster.gov.uk

DRAFT DECISION LETTER

Address: 8 Sunderland Terrace, London, W2 5PA

Proposal: Erection of dormer windows to front and rear roof slopes.

Plan Nos: Site location plan, 02, 03, 06, 105, 22, 23, 25, 26, 27, 'Rear Elevation Terrace Image in Context', 'Front Elevation Terrace Image in Context', 'Existing Elevation Images' photo sheet and Design and Access Statement.

Case Officer: Samuel Gerstein

Direct Tel. No. 020 7641 4273

Recommended Reason(s) for Refusal:

Reason:

- 1 Because its location, height, width and form, the rear dormer extension would harm the appearance of this building and fail to maintain or improve (preserve or enhance) the character and appearance of the Westbourne Conservation Area. This would not meet S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 6, DES 9 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. The proposal would also be contrary to advice in the City Council's Supplementary Planning Guidance "Westbourne Conservation Area Audit" (2002); and "Roofs A Guide to Alterations and Extensions on Domestic Buildings" (1995).

Informative(s):

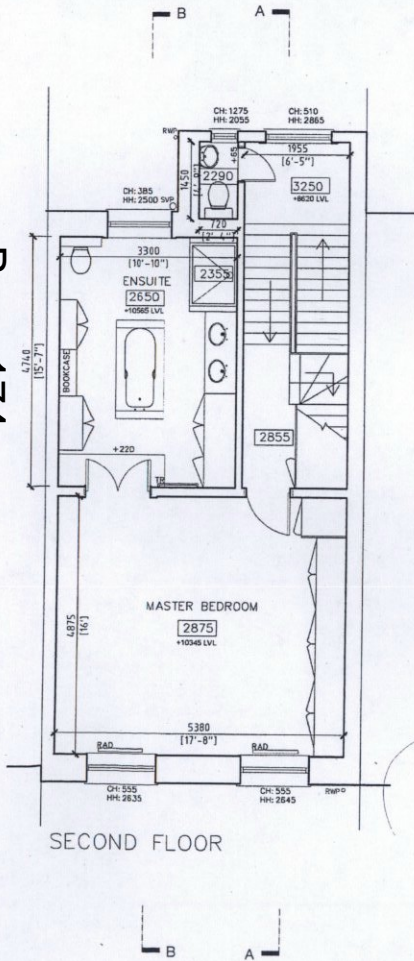
- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way so far as practicable. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition further guidance was offered to the applicant at pre application stage, principally that a rear dormer would not be acceptable although a modest front dormer would likely be acceptable. However the advice of Officers was not adhered to. You are therefore encouraged to consider submission of a fresh application incorporating the material amendments set out below which are necessary to make the scheme acceptable.

Required amendments:

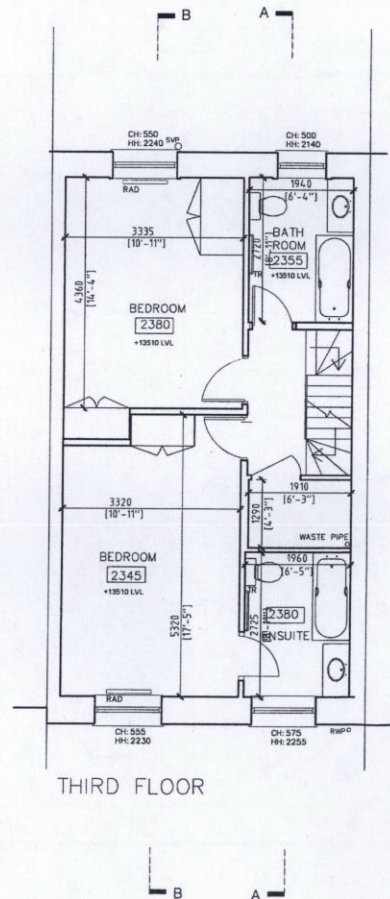
- Revised application comprising a modestly scaled front dormer and "Conservation Style" rooflights to the rear roof slope.

Do not scale use given dimensions only. All setting out to be verified on site and any discrepancies notified to the Architect.

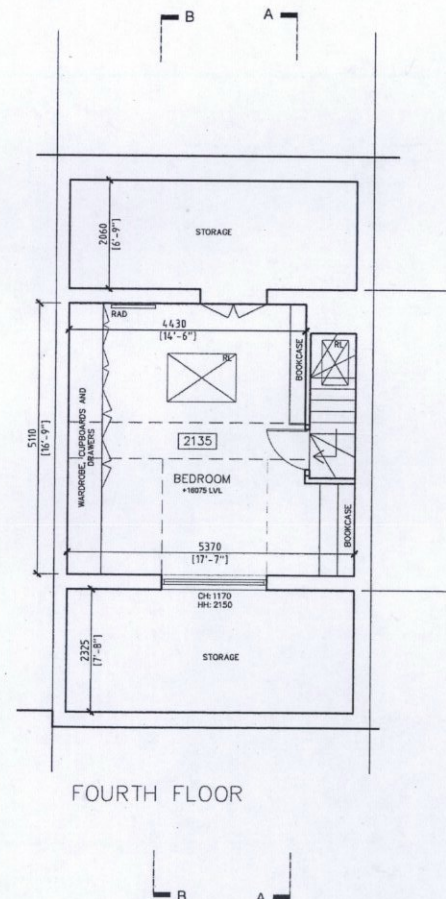
Page 174



SECOND FLOOR



THIRD FLOOR



FOURTH FLOOR

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STATUS EXISTING			
B L A ARCHITECTS			
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10-11 BAKER STREET 2ND FLOOR LONDON W1F 4DE			
Tel: 020 7546 8333 mail@bla-architects.com www.bla-architects.com			
ELEV: MR & MRS JILLA			
PROJECT: 8 SUNDERLAND TERRACE LONDON W2			
DRAWING: EXISTING PLANS SECOND, THIRD AND FOURTH FLOORS			
DRAWING:	DATE:	DRAWN BY:	
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1:100 @ A3			
JOB NO:	DRAWING NO:	REV:	
309	02		

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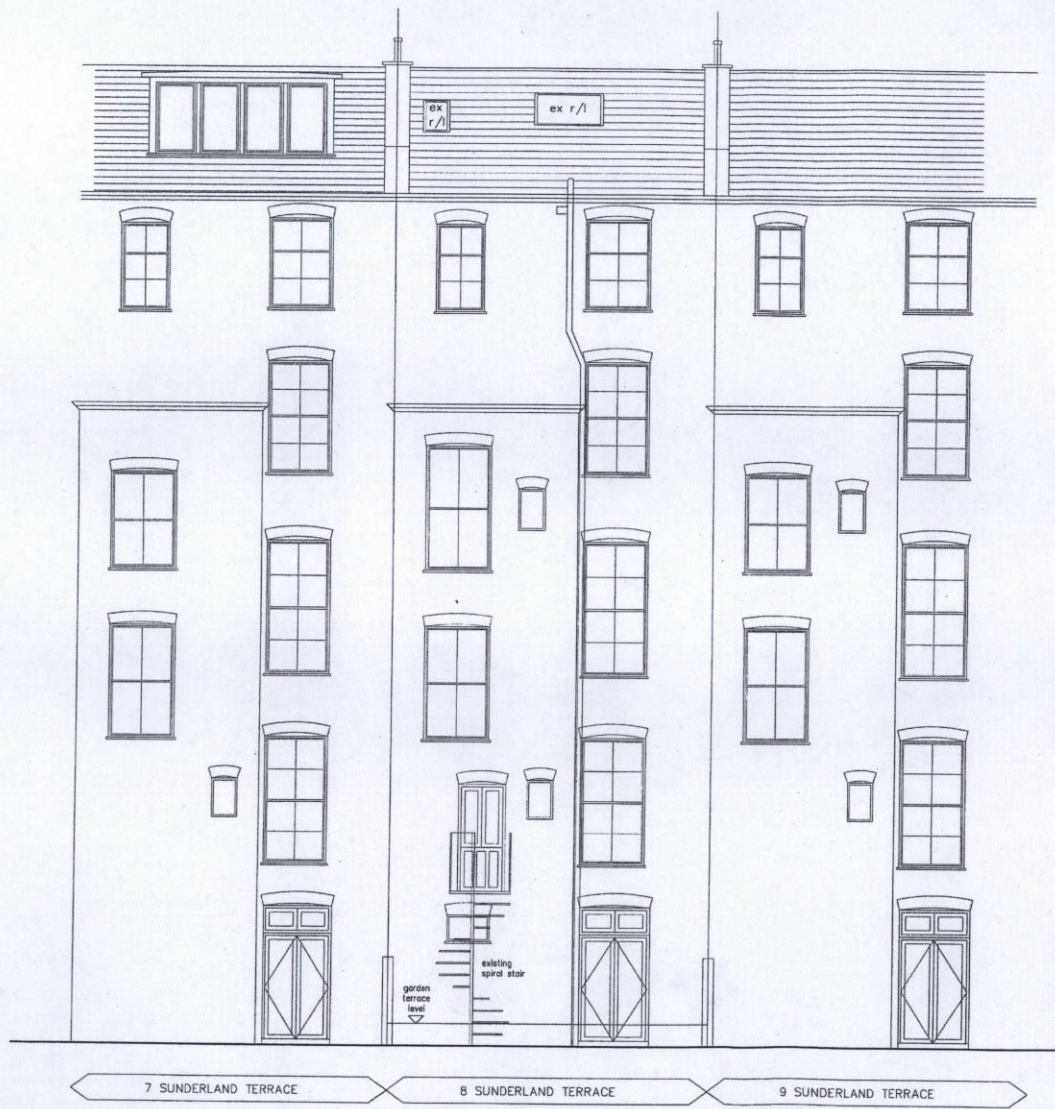


FRONT ELEVATION

Page 175

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CLIENT MR & MRS JILLA			
PROJECT 8 SUNDERLAND TERRACE LONDON W2			
DRAWING EXISTING FRONT ELEVATION			
DRAWING 1:50 @ A1 1:100 @ A3		DATE AUG 2013	DRAWN BY RA
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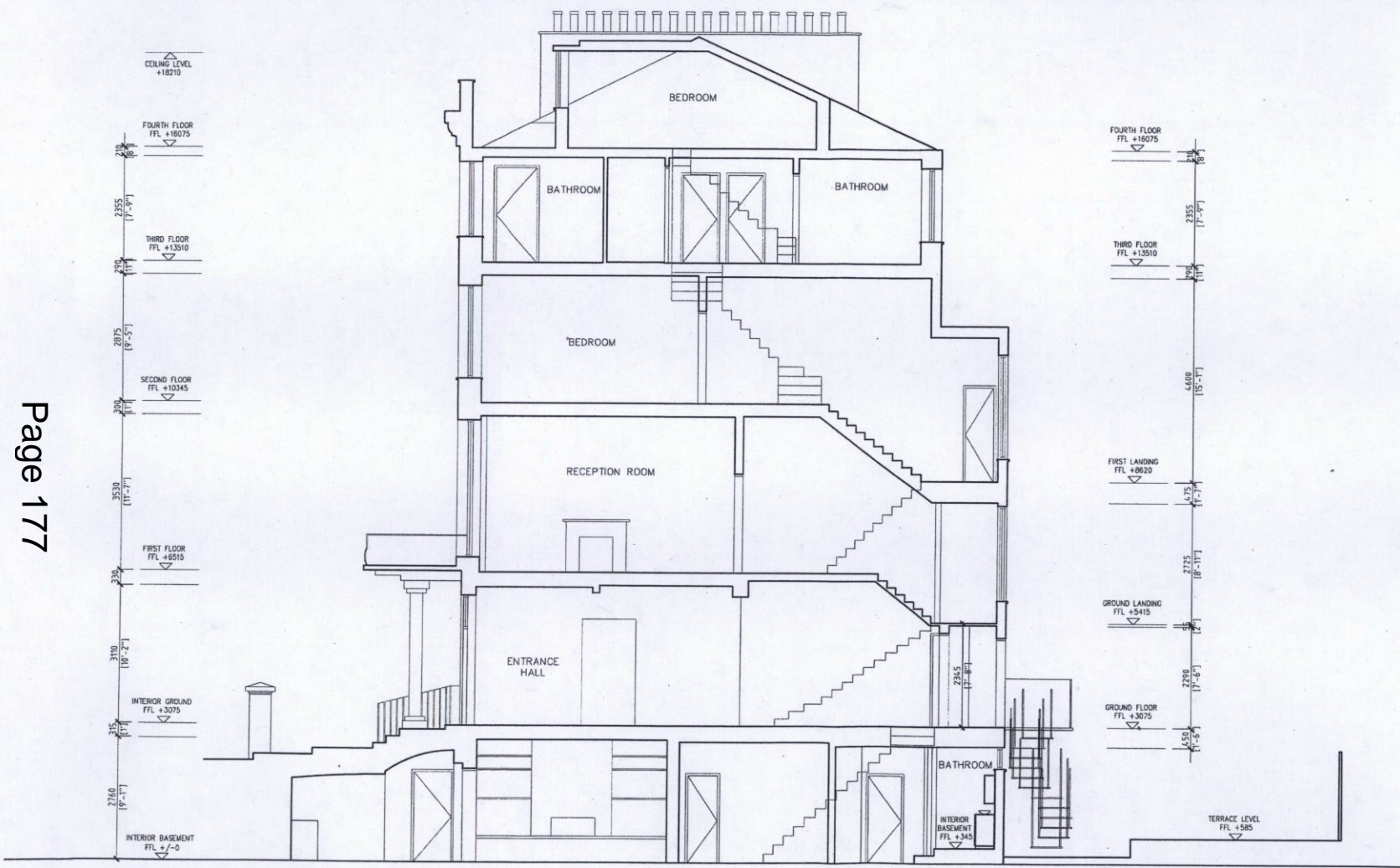


7 SUNDERLAND TERRACE 8 SUNDERLAND TERRACE 9 SUNDERLAND TERRACE

REAR ELEVATION

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CLIENT			
MR & MRS JILLA			
PROJECT			
8 SUNDERLAND TERRACE LONDON W2			
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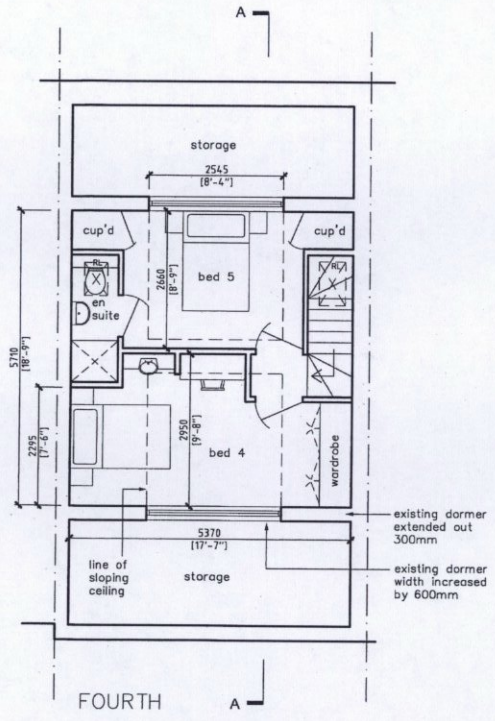
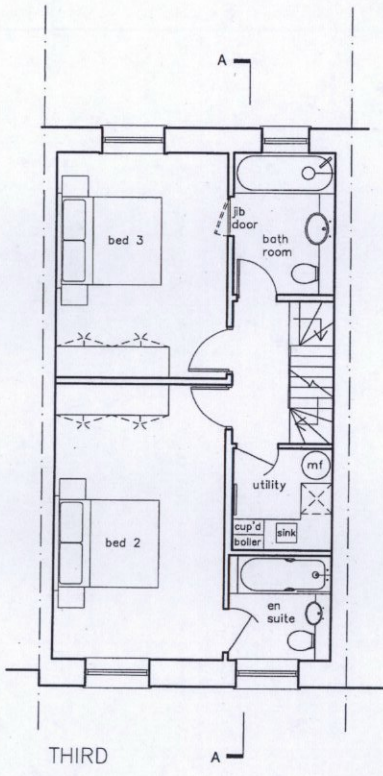
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Page 177

No.	Date	By	Description
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MR & MRS JILLA			
PROJECT			
8 SUNDERLAND TERRACE LONDON W2			
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309		03	
DRAWN BY		REV	
JS			

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existing dormer extended out 300mm
 existing dormer width increased by 600mm

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CLIENT			MR & MRS JILLA
PROJECT			8 SUNDERLAND TERRACE LONDON W2
DRAWING			PROPOSED PLANS THIRD AND FOURTH FLOORS
DRAWING		DATE	DRAWN BY
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JOB NO.	DRAWING NO.	REV	
309	22		

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FRONT ELEVATION

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 Tel: 020 7466 8333 mail@bla-architects.com www.bla-architects.com

CLIENT **MR & MRS JILLA**

PROJECT **8 SUNDERLAND TERRACE
LONDON W2**

DRAWING **PROPOSED FRONT ELEVATION**

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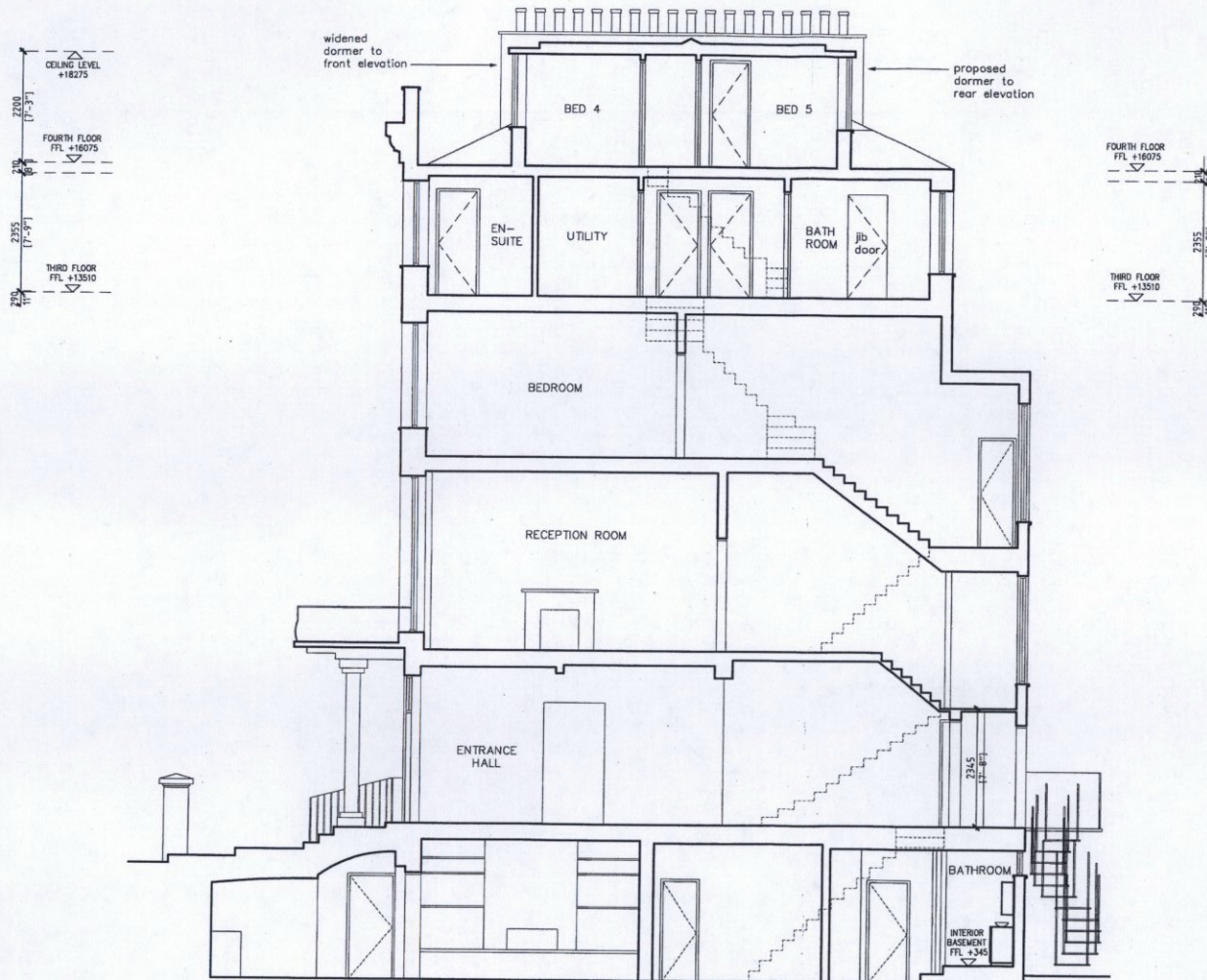
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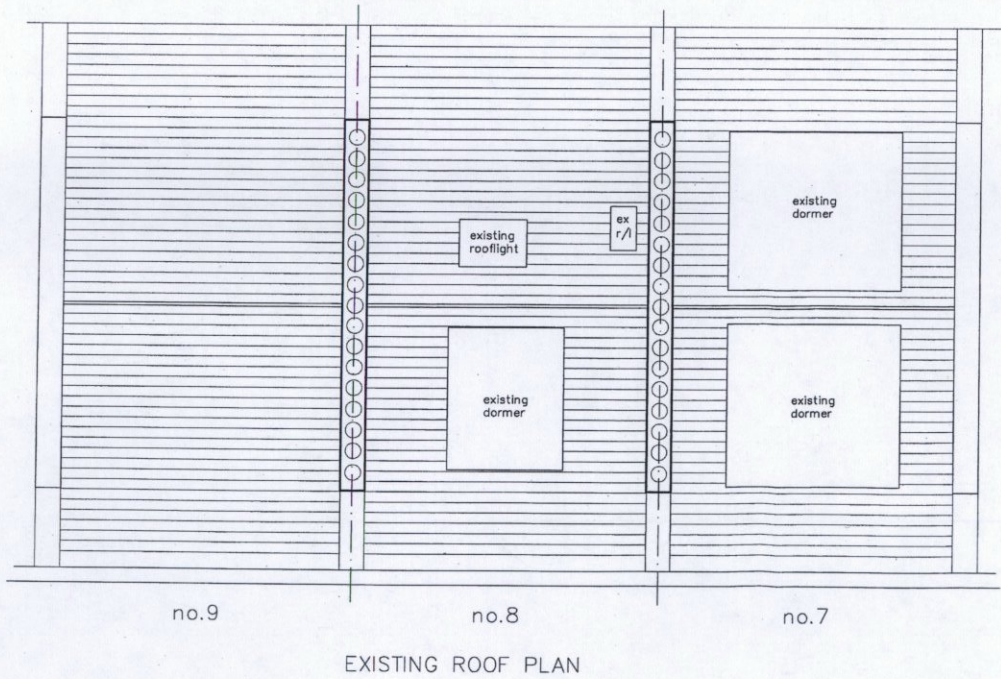
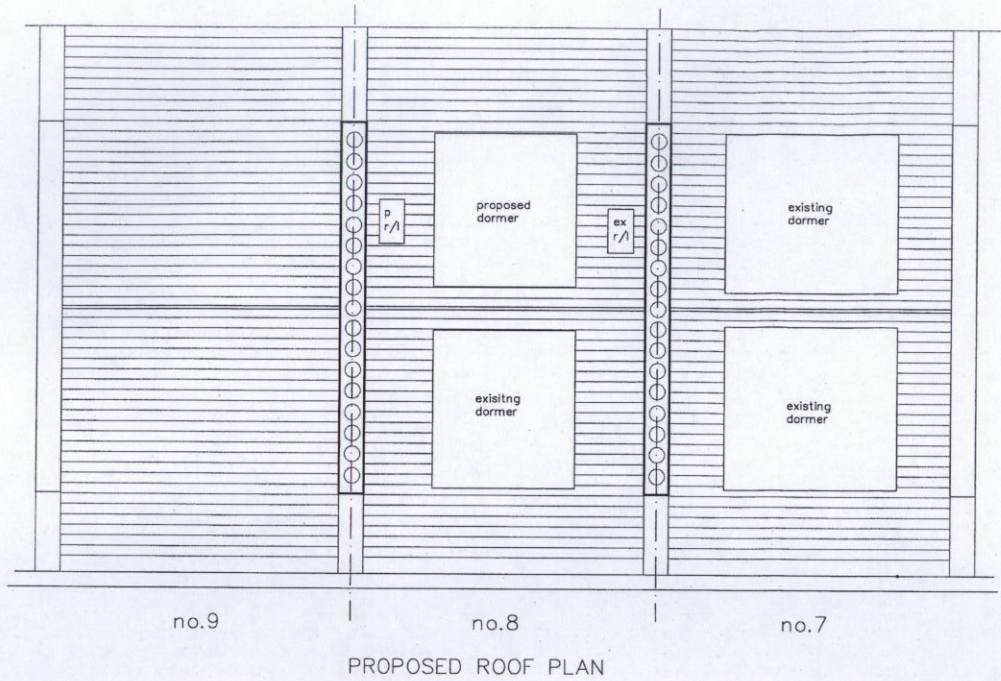
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CLIENT MR & MRS JILLA			
PROJECT 8 SUNDERLAND TERRACE LONDON W2			
DRAWING PROPOSED REAR ELEVATION			
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PLANNING			
B/LA ARCHITECTS			
ARCHITECTURE • INTERIOR DESIGN • PROJECT MANAGEMENT 85-87 BAKER STREET ONE FLOOR LONDON W4 6JG Tel: 020 7466 8333 mail@b-la-architects.com www.b-la-architects.com			
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CLIENT **MR & MRS JILLA**

PROJECT **8 SUNDERLAND TERRACE
LONDON W2**

DRAWING **EXISTING & PROPOSED
ROOF PLANS**

DRAWING 1:50 @ A1 1:100 @ A3	DATE OCT 2013	DRAWN BY RA
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JOB NO. 309	DRAWING NO. 27	REV
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